

Building Consent No.	980796
Date Received	8-7-98.

NELSON CITY COUNCIL

APPLICATION FOR BUILDING CONSENT

Section 33, Building Act 1991

(Insert a cross in each applicable box. Attach relevant documents in duplicate)

APPLICANT* (See note below) Name: <u>STEVE LUSCOMBE</u> Mailing Address: <u>21 Douglas rd</u> <u>Nelson</u> Contact Name: <u>Steve Luscombe</u> Contact Address: <u>21 Douglas rd</u> Position: <u>Builder/Purchaser</u> Phone: <u>5485704</u> Fax: <u>5485704</u> <u>or 025 2465388</u> <u>5485812</u>	PROJECT New or Relocated Building ☒ Alteration ☐ Description of work (in detail): <u>RESIDENCE WITH INTEGRAL</u> <u>GARAGE & SOLID FUEL</u> <u>PIPERACE</u> Intended Life: Indefinite, but not less than 50 years ☒ Specified as _____ years ☐ Demolition ☐ Being stage _____ of _____ stages Attach additional information if necessary to describe the project
PROJECT LOCATION Street Address: <u>209 Annesbrooke drive</u> <u>Nelson (21 Douglas Road)</u>	SIZE OF BUILDING Floor Area: <u>119 m²</u> Number Dwelling Units _____ Number of Storeys <u>1</u>
LEGAL DESCRIPTION Valuation Roll Number: <u>1969001100</u> Lot: <u>PT LOT 5</u> DP: <u>5476</u> Section: <u>PT Sec 19</u> Block: <u>Suburban Stw District</u> Survey District: <u>NELSON</u>	VALUE OF WORK Building: \$ <u>100,000</u> Plumbing & Drainage \$ <u>6,000</u> Total: \$ <u>116,000</u> Council charges for consent checking are based on the actual time spent checking plans and details plus an estimate of the number of site inspections required. Checking amendments to consents and extra inspections will be separately invoiced. This application is for ☒ Building consent only. ☐ Both building consent and a project information memorandum. 18 AUG 1998

* Under Section 33 of the Building Act 1991 the applicant must be the owner of the land on which building work is contemplated or a person who or which has agreed in writing, whether conditionally or unconditionally, to purchase the land or any leasehold estate or interest in the land, or to take a lease of the land, while the agreement remains in force.
Any person acting for or on behalf of the owner must be authorised in writing. Proof of authorisation is to be provided to Council.
The Nelson City Council will invoice the applicant for all costs associated with this Building Consent.

THE APPROPRIATE ITEMS IN THE FOLLOWING LIST OF INFORMATION MUST BE SUPPLIED TO THE COUNCIL, BEFORE YOUR APPLICATION WILL BE ACCEPTED

APPLICATION DETAILS:

	Info supplied	Info required
1. Building Consent Application fully completed and signed by Owner/Applicant.	✓	✓
2. Letter from Property Owner authorising application if Applicant is not owner.	✓	
3. Copy of current search copy of Certificate of Title for building site.	✓	
4. Details of any Resource Consent applications lodged or granted.	✓	

PLANS AND SPECIFICATION:- (2 copies required)

1. Fully detailed and dimensioned Site Plan , including site levels, floor height above finished ground level and all existing buildings.	✓	
2. Fully detailed Drainage Plan with discharge points, i.e.. Sewer and Stormwater, including levels, gutter & downpipe size and location. In rural areas provide Design Details of Septic Tank and effluent disposal system, including well location for water supply and any water test to show water potability.	✓	
3. Fully detailed and dimensioned Floor Plans, Elevations, Cross Sections and Construction Details . Show position of all Sanitary Fittings and provide a Layout Plan of water supply pipes & Toby, waste pipes and soil pipe installations.	✓	
4. Detailed Specification covering the building, plumbing and drainage works in accordance with the Building Code.	✓	
5. Fully detailed Schedule of Materials . Must include Glazing details.	✓	
6. Roof Truss Layout Plan and design details from an approved manufacturer.	✓	
7. Wall and Subfloor Bracing calculations, schedule and layout plan, in accordance with NZS3604:1990. (NB: Subfloor bracing only for piled foundations)	✓	
8. Hot Water System details: type, storage capacity and tempering valve details.	✓	
9. Producer Statements for design and /or construction, i.e.. Geotechnical, Structural, Specialist Systems OR detailed written report and calculations.	✓	
10. Details of Proposed Storage of hazardous substances and/or processes.	N/A	
11. Fire Safety Design Summary and/or specific fire engineering design.	N/A	
12. Log Fire installation instructions. Indicate if wet-back is to be included.	✓	

What materials will be used for the (tick boxes)

Floor

- 1 ☐ Timber
 2 ☒ Concrete
 3 ☐ Wood products

Insulation

- 1 ☒ Fibreglass
 2 ☐ Masserated paper
 3 ☐ Wool
 4 ☐ Foil
 5 ☐ Other

Framing

- 1 ☒ Timber
 2 ☒ Concrete for Garage
 3 ☐ Steel

Energy

- 1 ☒ Electric
 2 ☒ Gas L.P.G.
 3 ☒ Solid fuel

Outer Walls

- 1 ☐ Brick
 2 ☐ Concrete
 3 ☐ Concrete block
 4 ☐ Cement board
 5 ☒ Plaster
 6 ☐ Timber
 7 ☐ Steel
 8 ☐ Aluminium
 9 ☐ Other

Roof

- 1 ☐ Steel
 2 ☐ Concrete tiles
 3 ☒ Steel tiles
 4 ☐ Shingles
 5 ☐ Aluminium
 6 ☐ Other

KEY PERSONNEL

(Please complete as far as possible in all cases. Give names, addresses and telephone numbers.
Give relevant registration numbers if possible)

Builder(s): SKUP

Neil Ching
Contracting (1994) Ltd
45 Parkers Rd
Taharua
Ph 549 5984

Registered Drainlayer: Reg: 1/4/18

Registered Plumber: TO BE ADVISED

Note: Registered Gasfitter and Electrician are required to be nominated only when:

- a) The work undertaken is to be covered by a Compliance schedule.
- b) The owner wishes to obtain a Building Consent for the energy work.
(the owner will incur additional cost of checking and certification).

Registered Gasfitter:

Registered Electrician: TO BE ADVISED

Designer(s): ALAN JAMES

TO BE ADVISED

Building Certifier(s):

Registered Engineer(s): TO BE ADVISED

Other:

Signed for and on behalf of the applicant:

Name: S.N. Luscombe Position: Builder Date: 8.7.98

COMPLIANCE SCHEDULE DETAILS

SYSTEMS NECESSITATING A COMPLIANCE SCHEDULE

(Please complete for all new buildings and alterations, except single residential dwellings)

The building will contain the following *(cross each applicable box and attach proposed inspection, maintenance and reporting procedures)*:

- ☐ Automatic sprinkler systems or other systems of automatic fire protection.
- ☐ Automatic doors which form part of any fire wall and which are designed to close shut and remain shut on an alarm of fire.
- ☐ Emergency warning systems for fire or other dangers.
- ☐ Emergency lighting systems.
- ☐ Escape route pressurisation systems.
- ☐ Riser mains for fire service use.
- ☐ Any automatic flow-back preventer connected to a potable water supply.
- ☐ Lifts, escalators or travelators, or other similar systems.
- ☐ Mechanical ventilation or air conditioning system serving all or part of the building.
- ☐ Any other mechanical, electrical, hydraulic or electronic system whose proper operation is necessary for compliance with the Building Code.
- ☐ Building maintenance units for providing access to the exterior and interior walls of the building.
- ☐ Such signs as are required by the Building Code in respect of the above-mentioned systems.
- ☒ None of the above.

E2: OTHER SYSTEMS AND FEATURES TO BE INCLUDED IN THE COMPLIANCE SCHEDULE

(Please complete only if the building contains one or more of the systems listed above)

The building will contain the following *(cross each applicable box and attach proposed inspection, maintenance and reporting procedures)*:

- ☐ Means of escape from fire.
- ☐ Safety barriers.
- ☐ Means of access and facilities for use by persons with disabilities which meet the requirements of Section 25 of the Disabled Persons Community Welfare Act 1975.
- ☐ Hand-held hoses for fire fighting.
- ☐ Such signs as are required by the Building Code or Section 25 of the Disabled Persons Community Welfare Act 1975.

NELSON CITY COUNCIL, CONSENT CHECK SHEET

PINNO: _____

LINNO: 980796DATE: 9/7/98

PROJECT:

Erect Dwelling & Install Spaceheater

APPLICANT:

S Luscombe

LOT:

Pt Lot 5

DP:

5476

PROJECT LOCATION:

21 Douglas Rd

SPECIAL CONDITIONS:

418

ADMINISTRATION

Z100 Z200 Z300 Z400 Z500

ZB02 SITE INSPECTION

ZB04 ZB05 ZB06

ZC02 FOUNDATION

ZC04 ZC06 ZC08 ZC10 ZC13

ZC14 ZC16 ZCES

ZD02 RETAINING WALLS

ZD04 ZD06 ZD12 ZD14 ZD16
ZD18 ZDE0

ZE02 BUILDING STRUCTURE

ZE04 ZE06 ZE08 ZE09 ZE10
ZE11 ZE12 ZE14 ZGES

ZH02 PLUMBING & DRAINAGE

ZH03 ZH04 ZH05 ZH06 ZH07
ZH08 ZH10

ZI02 EXTERIOR CLADDING

ZIO4 ZIO6 ZIOS

ZK02 SOLID FUEL HEATER

ZK04 ZK06

ZM02 FINAL INSPECTION

ZM05 ZM08 ZM10 ZM12 ZM14

Z002 SAFETY SYSTEMS

Z004 Z006 Z008 Z010 Z012

Z014 Z016 Z018 Z020 Z022

DEPARTMENT	DATE	NOT APPR	DATE	APPR
BUILDING & PLANNING				
STRUCTURAL				
PLUMBING DRAINAGE & WATER				
ACCESS & SUBDIVISION				
DANGEROUS GOODS				
SERVICES & FLOOR LEVELS				
TOWN PLANNING	10/7/98	J. Jones	18.89	
HEALTH				
Split plans				
PIN1	Not applicable. Non-Complying with the Scheme. Requires a Resource Consent Complies with Scheme			

10-7-98
LETTER TYPIST

Rec 7/8.

AMENDED DATE: 7-8-98

Street No ☐	Boundaries ☐	Cornersplay ☐	Area ☐
Compulsory 643 ☐	or Amalg Titles ☐	Designations ☐	Subdivisions ☐

Zone ☐	Condition No	BLR ☐	SWL ☐	Right of Way Legal ☐
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FILE CHECK: DEVELOPMENT NUMBER: _____

Dispensations/Controlled Use/Specified Departures Applicable: _____

Conditions complied with ☐ No Conditions ☐

Minor Dispensations Reqd? _____ Approved under Delegated Authority: Date _____

Vehicle entrances/Reversing ☐ Fences ☐

Non-confirming building ☐ Sec 91 ☐ Signature _____

Trivial Infringements: _____

BUILDING PERMIT CHECK:

☐ Use Dwelling ☐ Apartment ☐ Accessory ☐ Other ☐

☐ Zone _____

☐ Designations _____

☐ Predominant ☐ Controlled ☐ Conditional ☐ Specified Departure ☐

☐ Building Coverage: _____

☐ Building Height: _____

☐ 4m Front Yard: _____ Side Yards: _____

☐ Windows and Decks of habitable rooms - 2m

☐ Daylight: North Point ☐ degrees North _____° South _____° East _____° West _____°

☐ Number of habitable rooms: _____

☐ Living Courts: Location adjoining living/dining ☐ Area of living court _____m² ☐

Dimension and shape of court ☐ Access to court (900mm) ☐

Obstruction to living court ☐ Conservatory area _____m² ☐

☐ Separation distance 6m (4m for aged cottages) ☐ recheck if applicable *

OR nominated side boundary

☐ Joined Units: Appearance/method of attachment: _____

☐ No of units on rear sites _____ refer Ord 21.70 No shown _____ No permitted _____

☐ Accessory buildings in front yard: Area 40m² ☐ 1.5m from st ☐ 6.3m width ☐

1.5m access to residential building ☐ Neighbour's consent ☐

Access: From St network ☐ NO using entrance ☐

Common Access No ☐ Widths ☐

Basecourse ☐ Surfaces ☐

Grade ☐

Entrance Location ☐ Turning ☐

Non reversing St or S/H ☐ Reversing more than 3m ☐

Parking: No required ☐ No shown ☐

Location of Parks ☐ Size of parks ☐

Fences, hedges, retaining walls, supporting fill

Signs

Landscaping where required (Tourist)

Access for disabled -see attachment

AREA: _____)

ZONE: _____) Write on BP Application

NELSON CITY COUNCIL, CONSENT CHECK SHEET

PIMNO: _____

LIMNO: 980796DATE: 9/7/98

PROJECT:

Erect Dwelling & Install Spec heater

APPLICANT:

S Luscombe

LOT:

Plot 5

DP:

5476

PROJECT LOCATION:

21 Douglas Rd

SPECIAL CONDITIONS:

418Land Manager

ADMINISTRATION

Z100 Z200 Z300 Z400 Z500

ZB02 SITE INSPECTION

ZB04 ZB05 ZB06

ZC02 FOUNDATION

ZC04 ZC06 ZC08 ZC10 ZC13

~~ZCN~~ ZC16 ZCES

ZD02 RETAINING WALLS

ZD04 ZD06 ZD12 ZD14 ZD16

ZD18 ZDE0

ZE02 BUILDING STRUCTURE

ZE04 ZE06 ZE08 ZE09 ZE10

ZE11 ZE12 ZE14 ZGE3

ZH02 PLUMBING & DRAINAGE

ZH03 ~~ZH04~~ ZH05 ~~ZH06~~ ZH07,

ZH08 ZH10

ZI02 EXTERIOR CLADDING

ZIO4 ZIO6 ZIOS

ZK02 SOLID FUEL HEATER

~~ZK01~~ ZK06

ZM02 FINAL INSPECTION

~~ZM05~~ ZM08 ZM10 ZM12 ZM14

Z002 SAFETY SYSTEMS

Z004 Z006 Z008 Z010 Z012

Z014 Z016 Z018 Z020 Z022

PLANMASTERS\PIM-LIM.DOC

DEPARTMENT	DATE	NOT APPR	DATE	APPR
_____ & PLANNING	<u>14/7/98</u> <u>11/7/98</u>	<u>Ja</u> <u>Dunning</u>	<u>12/8/98</u>	_____
STRUCTURAL				
_____ & WATER			<u>13/7/98</u>	<u>CoR</u>
ACCESS & _____			<u>14/7/98</u>	_____
DANGEROUS GOODS				
SERVICES & FLOOR LEVELS				
TOWN PLANNING				
HEALTH				
<u>Split plans</u> <u>10/7/98</u>				
PIM	Not applicable. Non-Complying with the Scheme. Requires a Resource Consent Complies with Scheme AMENDED DATE <u>7-8-98</u>			

part.

AMENDED DATE 16-7-98

part.

3-8-98

Direct No	☐	Boundaries	☐	Cornersplay	☐	Area	☐
Compulsory 643	☐	or Amalg Titles	☐	Designations	☐	Subdivisions	☐

Zone	☐	Condition No		BLR	☐	SWL	☐	Right of Way Legal	☐
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DEVELOPMENT NUMBER: _____

Dispensations/Controlled Use/Specified Departures Applicable: _____

Conditions complied with ☐ No Conditions ☐

Minor Dispensations Req'd? _____ Approved under Delegated Authority: Date _____

Vehicle entrances/Reversing ☐ Fences ☐

Non-confirming building ☐ Sec 91 ☐ Signature

Trivial Infringements: _____

BUILDING PERMIT CHECK:

☐ Use Dwelling ☐ Apartment ☐ Accessory ☐ Other ☐

☐ Zone

☐ Designations _____

☐ Predominant ☐ Controlled ☐ Conditional ☐ Specified Departure ☐

☐ Building Coverage:

☐ Building Height: _____

☐ 4m Front Yard: _____ Side Yards: _____

☐ Windows and Decks of habitable rooms - 2m

☐ Daylight: North Point ☐ degrees North _____ ° South _____ ° East _____ ° West _____ °

☐ Number of habitable rooms: _____

☐ Living Courts: Location adjoining living/dining ☐ Area of living court m² ☐

Dimension and shape of court ☐ Access to court (900mm) ☐

Obstruction to living court ☐ Conservatory area m² ☐☐ Separation distance 6m (4m for aged cottages) ☐

OR nominated side boundary ☐ recheck if applicable *

☐ Joined Units: Appearance/method of attachment:

☐ No of units on rear sites _____ refer Ord 21.70 No shown No permitted

☐ Accessory buildings in front yard: Area 40m² ☐ 1.5m from st ☐ 6.3m width ☐

1.5m access to residential building ☐ Neighbour's consent ☐

Access: From St network ☐ NO using entrance ☐

Common Access No ☐ Widths ☐

Basecourse ☐ Surfaces ☐

Grade ☐ ☐ ☐

Entrance Location ☐ Turning ☐

Non reversing St or S/H ☐ Reversing more than 3m ☐

Parking: No required ☒ No shown ☐

Location of Parks ☐ Size of parks ☐

Fences, hedges, retaining walls, supporting fill

Signs

Access for disabled - see attachment

AREA: 1

) Write on BP Application

ZONE: _____)

BUILDING CONSENT DETAILS

- Engineer to provide a producer statement of design ~~for~~ for all aspects of the project they are involved with plus an inspection schedule
- Sheds are to be at 600 centres with 7mm ply or increase to 12.5 ply at ~~500~~⁴⁸⁰ centres. — 16-7-98

Sufficient detail has been provided and a full check for compliance with the District Plan has been undertaken and:

- (i) the proposed works comply with the District Plan
- (ii) the following area/s of non-compliance has/have been identified

In any Case the necessary Resource Consents must be obtained before any work may proceed for which a building consent has been or will be issued pursuant to the Building Act 1991

Alterations made to plans as a result of a Resource Consent must also be made to the Building Consent Plan. If the Building Consent has not been issued an application for an amended Building Consent must be applied for and amended plan provided for rechecking and approval pursuant to the Building Act.

☐ Confirmation that the proposed building work may be undertaken, subject to the provisions of the Building Act 1991 and any requirements of the Building Consent

☐ Notification that the proposed building work may not be undertaken because a necessary authorisation has been refused

☐ Information identifying relevant special features of the land concerns

☐ Information about the land or buildings concerned notified to the Council by any statutory organisations have the power to classify land or buildings

☐ Details of relevant utility systems

☐ Details of authorisations which have been granted

☐ Notification of any other authorisations which must be obtained before the proposed building work may be undertaken

☐ Details of authorisation which have been refused

VIC STEWART
21 Douglas Road
Nelson.
Ph/Fax (03) 548 5704
Mobile 025 358 883

Dear Sir/Madam, I hereby give the
authority for Steve and Emily Luxcombe,
to apply for building consent. To
build a dwelling on the front
of our property. The site fronts
down onto Annesbrook Dr.

Yours Sincerely

V Stewart

MEMO FOR

PLANNING & REGULATION DIVISION
NELSON CITY COUNCIL
P.O. BOX 645
NELSON

CHIEF SURVEYOR
LINZ
PRIVATE BAG
NELSON

DATE:

25/6/98

V & J STEWART

Name:

Gouldie & Wood.

Surveyor

21 Douglas Rd.

Street:

985135

NCC Plan No:

We advise you that:

LAND TRANSFER PLAN No:
was issued for the above plan.

19229

3 AUGUST 1998
(date of issue)

for:

H. Gouldie
Land Information New Zealand

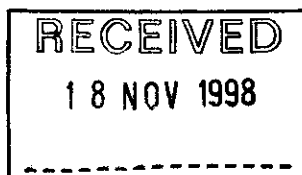
SURVEYOR

PSUB14

VIC STEWART
21 Douglas Road
Nelson.
Ph/Fax (03) 548 5704
Mobile 025 358 883

Dear Sir/Madam, I hereby give the
authority for Steve and Emily Cuscombe,
to apply for building consent. To
build a dwelling on the front
of our property. The site fronts
down onto Annesbrook Dr.

Yours Sincerely,
V Stewart



TONKIN & TAYLOR LTD. ENVIRONMENTAL & ENGINEERING CONSULTANTS			
☐ AUCKLAND	PO BOX 5271 19 MORGAN ST NEWMARKET	PH 64-9-355 6000	FAX 64-9-307 0285
☐ CHRISTCHURCH	PO BOX 13 055 155 KILMORE ST	PH 64-3-553 4400	FAX 64-3-553 4401
☐ HAMILTON	PO BOX 9644 SUITE D 26 LIVERPOOL STREET	PH 64-7-834 1228	FAX 64-7-834 1228
☒ WELLINGTON	PO BOX 12 152 109 FEATHERSTON STREET	PH 64-4-470 5700	FAX 64-4-499 3552
☐ WHANGAREI	PO BOX 1261 30 RUST AVE	PH 64-9-438 9055	FAX 64-9-430 0436

TELEFAX

TO:	Mr Steve Luscombe	YOUR FAX NO:	(03) 548-5812
ATTENTION:		OUR REF:	81041
FROM:	Graham Wallace	REPLY FAX NO:	64-4-499 3552
PAGE 1 OF 2		DATE:	
CC:	Nelson City Council - Consents Department and Mr Dougald Lee (03) 546 0239		

IF YOU DO NOT RECEIVE ALL PAGES CONTACT US IMMEDIATELY

Please find attached -

Producer Statement - PS4 - Construction Review

for: 209 Annesbrook Drive, Nelson

G Wallace

Building Consent No.

Building Regulation Clause(s)

PRODUCER STATEMENT - PS4 - CONSTRUCTION REVIEW

(Guidance notes on the use of this form are printed on the reverse side)

ISSUED BY: G I Wallace
(Suitably qualified Design Professional)TO: Mr S Luscombe
(Owner)TO BE SUPPLIED TO: Nelson City Council
(Territorial Authority)IN RESPECT OF: New Residence
(Description of Building Work)AT: 209 Annesbrook Drive, Nelson (21 Douglas Rd)
(Address)LOT 5 DP 5476 SO Tonkin & Taylor Ltd has been engaged by Mr S Luscombe
(Design Firm) (Owned/Developer/Contractor)to provide Periodic Construction Inspection services
(Extent of Engagement)in respect of clause(s) B1 - Structure of the Building Regulations 1992 for the building work described by the
drawings and specifications prepared by Tonkin & Taylor Ltd
(Design Firm)titled *Prop. Subdivision and numbered *81041.01 to 81041.04 and 81041 8/98Authorised variation(s) No. (copies attached) have been issued during the course of the
works. I have sighted Building Consent No. 980796 and the attached conditions of building consent.As an independent design professional covered by a current policy of Professional Indemnity Insurance to a minimum
value of \$200,000, I or personnel under my control have carried out periodic reviews of the work appropriate to the
engagement and based upon these reviews and information supplied by the contractor during the course of the worksI BELIEVE ON REASONABLE GROUNDS that ☒ All ☐ Part only as specified in the attached particulars
of the building work under the above building consent with respect to Clause(s) B1/YM4 of the
Building Regulations 1992 has been completed to the extent required by that building consent......
(Signature suitably qualified Design Professional)Date 17/11/98BE, MIPENZ, Dip Mgmt., Reg. Eng.:
(Professional Qualifications)ERB/AERB Reg No. 5473P O Box 12-152, Wellington
(Address)Member ACENZ ☐IPENZ ☒ NZIA ☐

This form to accompany Form 9 of the Building Regulations 1992 for the issue of a Code Compliance Certificate.

Ref. 81041

October 94

P.I.M. No.....

Building Regulation Clause(s).....

PRODUCER STATEMENT - PS1 - DESIGN

(Guidance notes on the use of this form are printed on the reverse side)

ISSUED BY: Graham Wallace
(Suitably qualified Design Professional)

TO: Mr S Luscombe
(Owner)

IN RESPECT OF: new residence
(Description of Building Work)

AT: 209 Annesbrook Drive
Tahuna, Nelson
(Address)

LOT 5 DP 5476 SO

..... Tonkin & Taylor has been engaged by Mr S Luscombe
(Design Firm) (Owner/Developer/Contractor)

to provide structural design of retaining walls and basement garage walls Services in respect of the
(Extent of Engagement)

requirements of Clause(s) B1 structure of the Building Regulations 1992 for

☐ All

☒ Part only as specified

of the building work. The design has been prepared in accordance with B1/VM4
(verification method(s)/acceptable solution(s))

(respectively) of the approved documents issued by the Building Industry Authority and the work is described on

..... Tonkin & Taylor Ltd drawings titled Mr Luscombe Proposed
(Design Firm) Residence

and numbered 81041.01 to 81041.04 and the specification and other documents according to which the
building is proposed to be constructed.

As an independent design professional covered by a current policy of Professional Indemnity Insurance to a minimum
value of \$200,000, I BELIEVE ON REASONABLE GROUNDS that subject to:

(i) the site verification of the following design assumptions competent rock is exposed in cuts
and in foundation excavations.....

and (ii) all proprietary products meeting the performance specification requirements,
the drawings, specifications, and other documents according to which the building is proposed to be constructed
comply with the relevant provisions of the building code.

.....
(Signature suitably qualified Design Professional)

Date 3 July 1998

..... BE, Dip. Mgmt., MIPENZ
(Professional Qualifications)

ERB/AERB Reg No. 5473

..... P O Box 12-152, Wellington
(Address)

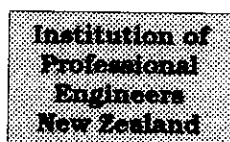
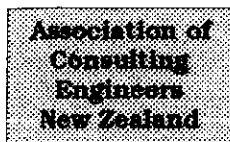
Member ACENZ ☐

IPENZ ☒ ☐ NZIA

This form to accompany Form 3 of the Building Regulations 1992 for the application of a Building Consent.

Ref: 81041

18/12/92



P.I.M No.....
Building Regulation Clause(s)

PRODUCER STATEMENT - PS1 - DESIGN

(Guidance notes on the use of this form are printed on the reverse side)

ISSUED BY: Graham I Wallace
(Suitably qualified Design Professional)
TO: Mr S Luscombe
(Owner)
TO BE SUPPLIED TO: Nelson City Council
(Territorial Authority)
IN RESPECT OF: new residence
(Description of Building Work)
AT: 209 Annesbrook Drive, Nelson
(Address)

LOT 5 DP 5476 SO --
..... Tonkin & Taylor Ltd has been engaged by Mr S Luscombe
(Design Firm) (Owner/Developer/Contractor)

to provide design of edge of slab, strip foundations services in respect of the
(Extent of Engagement)
requirements of Clause(s) B1 Structure of the Building Regulations 1992 for
☐ All ☒ Part only as specified

of the building work. The design has been prepared in accordance with B1/VM4
(verification method(s)/acceptable solutions(s))
(respectively) of the approved documents issued by the Building Industry Authority and the work is described on
the attached sketch drawings titled
(Design Firm)

and numbered and the specification and other documents according to which the building is proposed to be constructed.

As an independent design professional covered by a current policy of Professional Indemnity Insurance to a minimum value of \$200,000, I BELIEVE ON REASONABLE GROUNDS that subject to:

- (i) the site verification of the following design assumptions : inspection of footing excavations,
..... founstation subgrade to comply with NZS3604.....

and (ii) all proprietary products meeting the performance specification requirements, the drawings, specifications, and other documents according to which the building is proposed to be constructed comply with the relevant provisions of the building code.

.....
(Signature suitably qualified Design Professional)
BE, Dip. Mgmt, MIPENZ - Reg. Engineer
(Professional Qualifications)

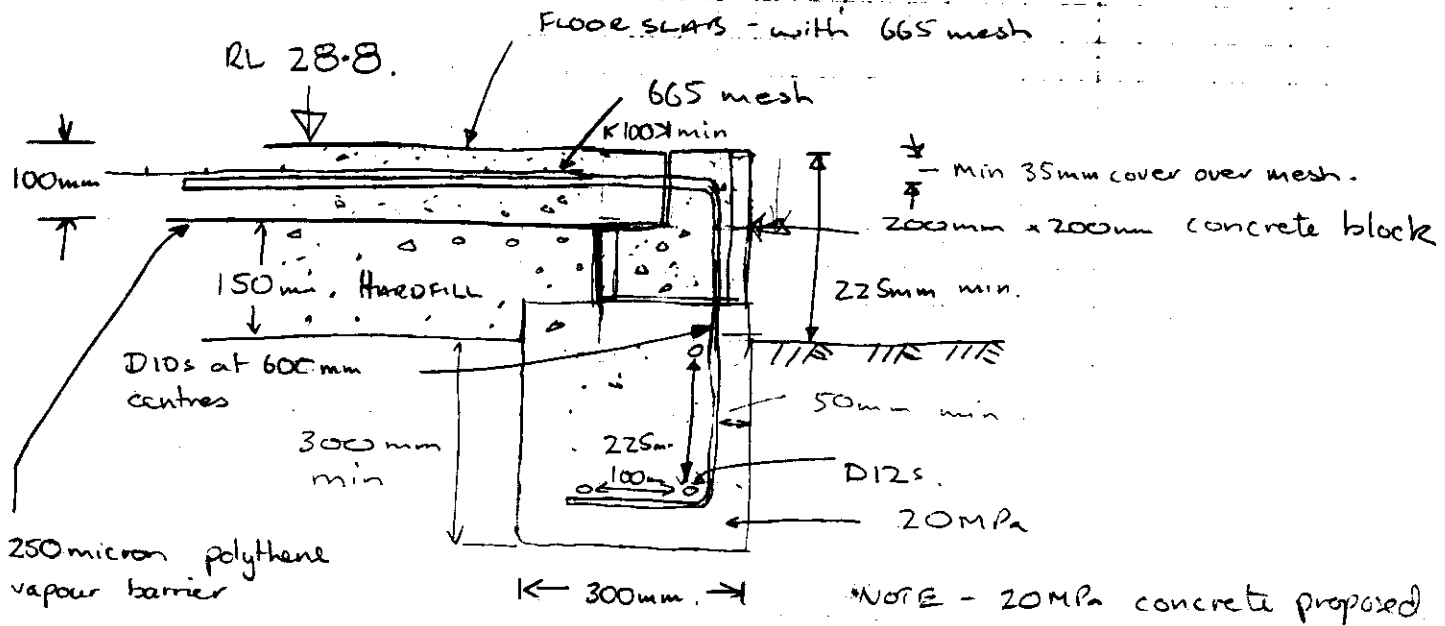
P O Box 12-152, Wellington
(Address)

Date 6 August 1998

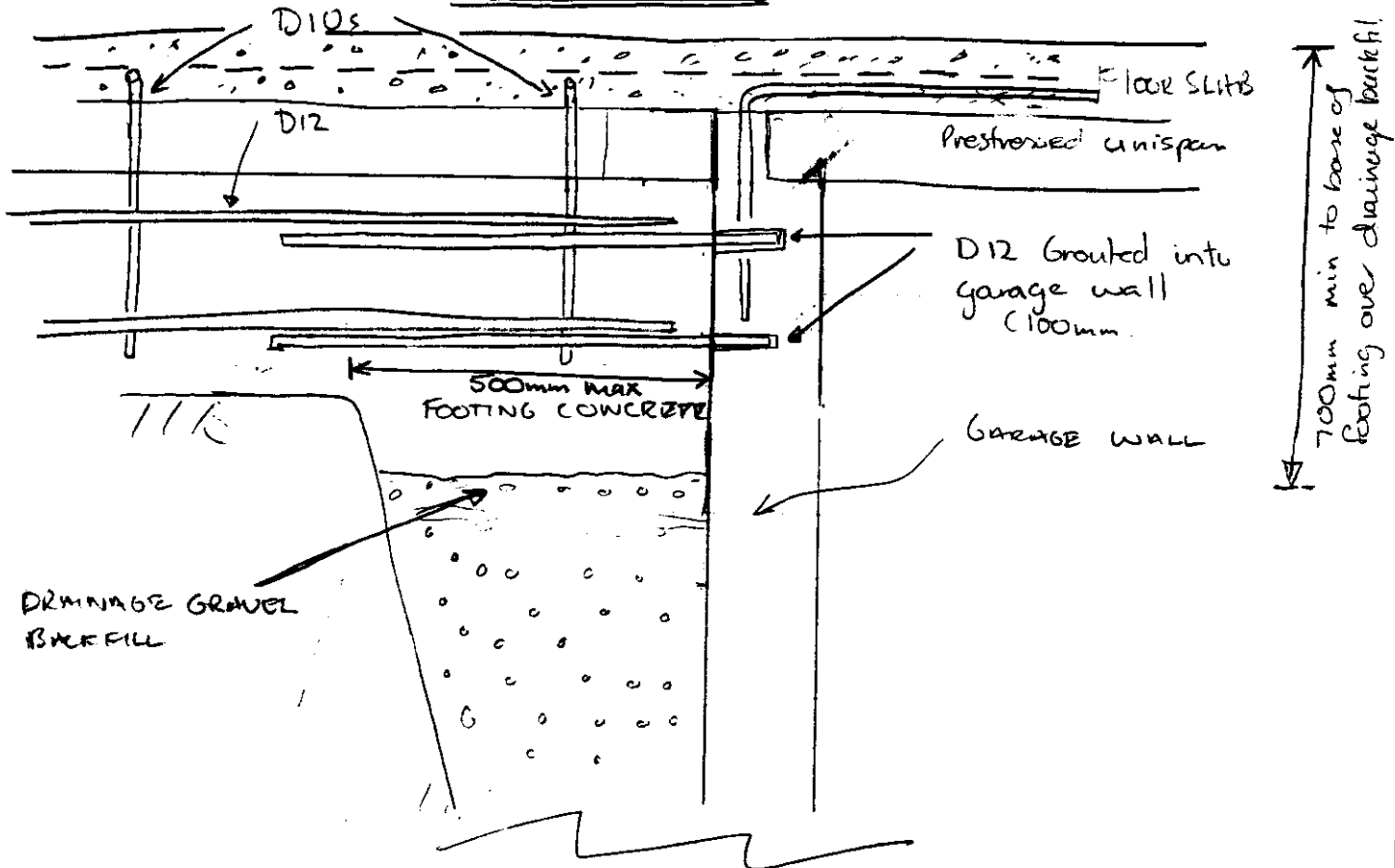
ERB/ACENZ Reg No. 5473

Member ACENZ ☐

IPENZ ☒ NZIA



FOOTING DETAIL



DETAIL FOR BUTTING STRIP FOOTING
TO GARAGE WALL

NELSON CITY COUNCIL

PO BOX 645 NELSON 7015 NEW ZEALAND PHONE 03-546 0200 FAX 03-546 0239

Code Compliance Certificate

Section 43(3), Building Act 1991

Application

S Luscombe	No.	980796
21 Douglas Rd	Issue date	6/03/01
Nelson 7001		

Project

Description	New Construction Being Stage 1 of an intended 1 Stages ERECT DWELLING & INSTALL SPACEHEATER
Intended Life	Indefinite, but not less than 50 years
Intended Use	
Estimated Value	\$116,000
Location	21 DOUGLAS RD
Legal Description	PT LOT 5 DP5476
Valuation No.	1969001100

This is a final Code Compliance Certificate issued in respect of all the building work under the above building consent.

Signed for and on behalf of the Council:

Name:

Date:

01.03.01

Sapientia Holdings Ltd
C/o 12 Tory St
Nelson.

5 MAR 2001
Nelson City Council

Nelson City Council
Box 645
Nelson

Att Building Inspectors Department

Dear Sir/Madam

Re Interim Code Compliance Certificate for 209 Annesbrook Drive No 980796 3.11.00
(in the name of S Luscombe 21 Douglas Road)

We wish to advise that the work on this house that was required has been completed and now request a final Code Compliance Certificate. Please send to Sapientia Holdings Ltd 12 Tory St Nelson.

Thank you in anticipation

Yours faithfully


W G Moulder
Director

Please find enclosed copy Interim Code Compliance Certificate

Oh for CCC issue
SJH 15/3/01
Thanks Rosetta.

NELSON CITY COUNCIL

PO BOX 645 NELSON NEW ZEALAND PHONE 03-546 0200 FAX 03-546 0239

Interim Code Compliance Certificate

Section 43(3), Building Act 1991

Application

S Luscombe	No.	980796
21 Douglas Rd	Issue date	3/11/00
Nelson		

Project

Description	New Construction
	Being Stage 1 of an intended 1 Stages
	ERECT DWELLING & INSTALL SPACEHEATER
Intended Life	Indefinite, but not less than 50 years
Intended Use	
Estimated Value	\$116,000
Location	21 DOUGLAS RD
Legal Description	PT LOT 5 DP5476
Valuation No.	1969001100

This is an interim Code Compliance Certificate in respect of part only, as specified in the following particulars, of the building work under the above building consent.

This certificate is issued subject to the following conditions:

Provide bolted fixings to handrail verticals M12 bolts with 50x50x3mm washers.

Close up gaps greater than 100mm on handrail.

Provide sump and drainage channel to the base of the driveway.

Stiffen kitchen end of handrail.

Signed for and on behalf of the Council:

Name:

Date:

Final Residential Checklist

BC Number 980796 Site Address 204 ALBERTA DRIVE Project DRIVEWAY

14/9/00 * Fix one down pipe.
 * Seal around front gully pan waste pipe
 Handrail to retaining wall.
 Sump to base of Driveway.
 * Stiffer kitchen end handrail (bakery).

☒ Ceiling access clear of obstruction
* ☐ Ceiling insulation placement- type as per plan <u>SHOWN AREA ABOVE</u>
☒ Supply tank- c/w overflow <u>PANTRY</u>
☒ Exposed pipe work lagged
☒ Mechanical vents to outside
☒ Ventilation from rooms
☒ Safety glazing- showers, doors, windows ballustrades,
☐ Safety rail- stairs, decks <u>N/A</u>
☐ Hand rail on stairs <u>N/A</u>
* ☐ HWC fixed in place
☐ HWC relief valves to outside
☒ HWC exhaust to outside
☒ HWC drain to outside
☒ Tempering valve fitted, all valves accessible
☐ Temperature of water checked
☒ All sanitary fixtures installed
☒ Around fixtures sealed
* ☐ Floor coverings completed
☒ Heater fixed, flue completed
☒ Wetback fitted

☐ Weather proofing, flashings etc completed
* ☐ Stucco-cracks sealed, vinyl painted <u>TERMINAL FINISH, SEALING CRACKS</u>
☐ Brick veneer- weep holes clear <u>PAINTING ETC NEEDED</u>
☐ Spouting and down pipes completed <u>D.P.'S ONLY</u>
☒ Terminal vent and back vents completed <u>SEAL TO ROOF</u>
* ☐ Foundation sealed around wastes <u>OR HOUSE 2'S REMOVED</u>
* ☐ Gully trap levels OK <u>RE-DO</u>
☐ Sumps installed as per plan
* ☒ Finished Ground Levels OK <u>DO NOT AROUND REAR OF HOUSE</u>
☐ Retaining walls completed to plan
* ☐ Landscaping completed
* ☐ Driveway completed as per plan
* ☐ Street frontage OK
☒ Drainage asbuilt received <u>RECEIVED</u>
☒ Engineer P/S C/R received for all specific design <u>RECEIVED</u>
☐ Energy Works Certificate received
☒ Ammended plans and details received
☒ Resource consent conditions met <u>SUBMISSION R.C. ONLY</u> <u>+ CATCHWORKS OVER 1.2. ONE</u>
Inspector: <u>ANDREW CHAPMAN</u> Date: <u>26/3/99</u>

Land Titles
Search Coupon

LT 102

H COPY FEB 18 1989

and Deeds 69

No. 28 / 1009

REGISTER

The coupon will be returned
in search requested and must
be produced for any query.

J 624709

Time

H GOURDIE

TE OF TITLE UNDER LAND TRANSFER ACT

Copy Requested

28-1009

Day of January

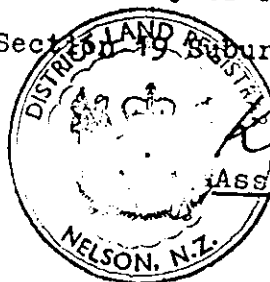
one thousand nine hundred and SIXTY-SEVEN

Registrar of the Land Registration District of NELSON

WITNESSETH that PHILIP ERNEST McDONALD of Nelson, Company director and OLIVE DIXIE McDONALD his wife are -

seised of an estate in fee-simple (subject to such reservations, restrictions, encumbrances, liens, and interests as are notified by memorial underwritten or endorsed hereon) in the land hereinafter described, delineated with bold black lines on the plan hereon, be the several admeasurements a little more or less, that is to say: All that parcel of land containing 2 roods

22.6 perches more or less situated in the City of Nelson being Part Lot 5 Deposited Plan 5476 and being Part Section 19 Suburban South District.



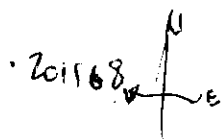
Assistant Land Registrar

K3797 Building line restriction

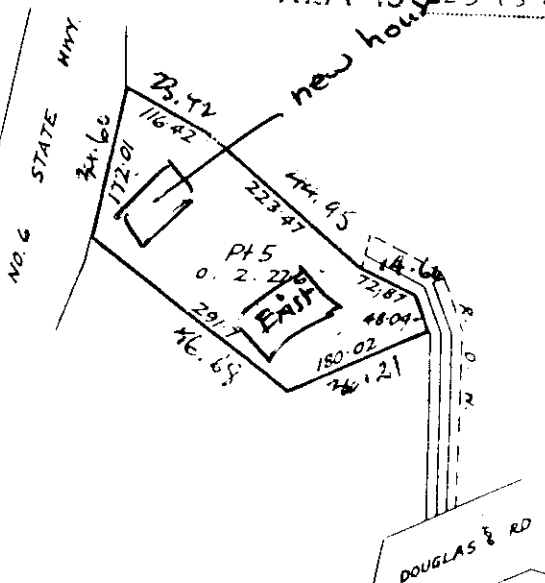
Kwcoaden
A.L.R.

Transfer 62037 fencing covenant

Kwcoaden
A.L.R.



METRIC AREA IS 2595 m²



Scale: 1 inch = 2 Chains
C.R. & F.C.

Appurtenant hereto is a right of way over part Lot 22 D.P. 6882 (C.T. 2A/1052) as set out in Easement Certificate 101299.

Kwcoaden
A.L.R.

101299 Easement Certificate certifying that the following rights of way are the easements intended to be created by the operation of Sec. 90A of the Land Transfer Act 1952.

Servient Schedule Dominant

Lot 23 yellow } C.T. 2B/774 Land herein
Lot 24 Blue }

Kwcoaden
A.L.R.

101300 Conditions of consent in respect of the rights of way on D.P. 6882.

Kwcoaden
A.L.R.

111901 Settled under the Joint Family Homes Act 1964 on Philip Ernest McDonald and Olive Dixie McDonald both abovenamed - 29 Oct 1967.

Kwcoaden
A.L.R.

244737.1 Transmission to Philip Ernest McDonald, as survivor - 18.10.1984 at 2.10 o'clock.

Shiff
A.L.R. 30.000/8/63-5040 W

- OVER -

No. 28 / 1009



TONKIN & TAYLOR LTD. ENVIRONMENTAL & ENGINEERING CONSULTANTS

109 FEATHERSTON STREET WELLINGTON NEW ZEALAND

PO BOX 12 152 WELLINGTON NEW ZEALAND

PH 64-4-470 5700 FAX 64-4-472 6977

Our Ref.: 81041

4 August 1998

The Chief Executive Officer
Nelson City Council
PO Box 645
NELSON

Attention: Mr Don Bellagh

Dear Sir

109 Annesbrook Drive, Tahuna, Nelson
Geotechnical Supervision of Earthworks

Further to our letter of 20 July Mr S Luscombe has requested Tonkin and Taylor Ltd to carry out additional construction supervision of the house strip footing and floor slab 109 Annesbrook Drive.

We have revised our proposed schedule of site visits to the following:

1) Supervision Phase 1

- 1) Following topsoil stripping to inspect driveway foundations.
- 2) With construction bench at RL 29.5
- 3) On completion of excavation to RL 28.3 and after five pilot pole holes have been drilled to full depth and a trench has been excavated to RL 25.5 within area of garage box cut.

2) Supervision Phase 2

- 1) On completion of box cut excavation prior to tilt slab erection.
- 2) Inspection of structural details in walls and strip footing.
- 3) Inspection of house foundations and strip footings
- 4) Inspection of Floor slab

5) Supervision Phase 3

- 1) With excavation level at RL 26
- 2) On completion of driveway excavation and after drilling of five pilot pole holes.
- 3) On completion of fill placement for driveway ramp and construction of retaining walls.

4) Producer Statement



On satisfactory completion of the earthworks we will prepare a producer statement - construction (review).

Yours faithfully
TONKIN & TAYLOR LTD



Graham Wallace
Registered Engineer

Ref: BC980796
209 Annesbrook Dr
Please Ask for: Don Ross
Phone No: (03) 546 0293
E-Mail: dsross@ncc.govt.nz
Ref: DR

NELSON CITY COUNCIL

PO BOX 645 NELSON NEW ZEALAND PHONE 03-546 0200 FAX 03-546 0239

18 August 1998

A Luscombe
21 Douglas Road
NELSON 7001

Dear Sir/Madam

Proposal to Erect a Residential Unit at 209 Annesbrook Drive

Your Building Consent Application No BC980796 (together with amended plans of 11 August 1998) has been received and is currently being processed.

We are currently processing a resource consent for the proposal. Until this resource consent is approved building may not start on this property. If approved it may be necessary to amend plans if conditions of consent so require.

If you wish to discuss the content of this letter please contact Don Ross at the telephone number provided above.

Yours faithfully



J Pattison
Development Planner

209 Amesbrook Drive.

- 1/ Get Touhin & Taylor to issue a Producer Statement of Design for the house foundations & floor slab. Revised inspection schedule to cover all aspects of construction including D.P.C.
- 2/ Get Resource Consent for Earthworks and set out boundaries.

3-8-98 P. Luffell



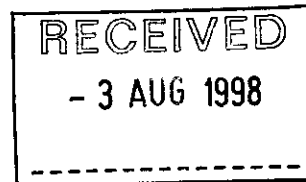
TONKIN & TAYLOR LTD. ENVIRONMENTAL & ENGINEERING CONSULTANTS
155 KILMORE STREET CHRISTCHURCH NEW ZEALAND
PO BOX 13055 CHRISTCHURCH NEW ZEALAND
PH 64-3-365 3700 FAX 64-3-365 3742
5466337

Our Ref.: 81041
20 July 1998

The Chief Executive Officer
Nelson City Council
PO Box 645
NELSON

Attention: Mr Don Bellagh

Dear Sir



**109 Annesbrook Drive, Tahuna, Nelson
Geotechnical Supervision of Earthworks**

I confirm that Mr S Luscombe has requested Tonkin and Taylor Ltd to carry out Geotechnical Supervision of the proposed earthworks and retaining wall construction at 109 Annesbrook Drive.

Our proposed schedule of site visits is as follows:

1) Supervision Phase 1

- 1) Following topsoil stripping to inspect driveway foundations.
- 2) With construction bench at RL 29.5
- 3) On completion of excavation to RL 28.3 and after five pilot pole holes have been drilled to full depth and a trench has been excavated to RL 25.5 within area of garage box cut.

We will inspect the soil conditions beneath the house foundations but understand that the inspection and certification of the foundation structural elements is to be carried out by others)

2) Supervision Phase 2

- 1) On completion of box cut excavation prior to tilt slab erection.
- 2) Inspection of structural details in walls and strip footing.

3) Supervision Phase 3

- 1) With excavation level at RL 26
- 2) On completion of driveway excavation and after drilling of five pilot pole holes.
- 3) On completion of fill placement for driveway ramp and construction of retaining walls.

4) Producer Statement



On satisfactory completion of the earthworks we will prepare a producer statement - construction (review).

Yours faithfully
TONKIN & TAYLOR LTD


Graham Wallace
Registered Engineer



TONKIN & TAYLOR LTD. ENVIRONMENTAL & ENGINEERING CONSULTANTS

109 FEATHERSTON STREET WELLINGTON NEW ZEALAND

PO BOX 12 152 WELLINGTON NEW ZEALAND

PH 64-4-472 6997 FAX 64-4-472 6977

Our Ref.: 81041
21 April 1998

The Chief Executive Officer
Nelson City Council
PO Box 645
NELSON

Attention: Mr J Rudhall

Dear Sir

**CERTIFICATE - PROPOSED BUILDING SITE
LOT 1 OF PROPOSED SUBDIVISION OF PART LOT 5 DP 5476,
TAHUNA, NELSON**

This certificate defines an area suitable for the erection of a dwelling and the geotechnical conditions which should be applied to any development on the site.

We have carried out an investigation in accordance with sound engineering principles and practice on the above property. The soils investigation on which this certificate is based on are documented in our letter report "Lot 1 of Proposed Subdivision of Part Lot 5 DP 5476, Tahuna, Nelson, Geotechnical Investigations" Ref: 81041, dated 21 April 1998. This certificate should be read in conjunction with the report.

It is our professional opinion not to be construed as a guarantee that there is a building site on proposed Lot 1, as indicated on Figure 1 of our report, which is suitable for the erection of a residential dwelling subject to the conditions set out below.

1. Foundations

Foundations should be taken through loose fill materials, the colluvium and the residually weathered siltstone to derive support from the dense, highly or less weathered siltstone at depth. Investigations indicate that founding depth is variable across the site, but will be range from 0.9 to 1.8m below the existing ground surface within the building envelope.

2. Cut Slopes.

Unsupported cut slopes can be excavated above the RL 27m contour within the following limits:



	Recommended max. Unsupported slope angle
Cuts less than 1m in height	45° (1H: 1V)
Cuts 1 to 2m in height	26° (2 H: 1 V)
Cuts 2m to 4m in height	Top 2m section cut at 26°, Bottom 2m section at 36° (1.5H:1V)
Cuts greater than 4m in height	Requires specific design

Once an earthworks plan has been developed we should review it. No earthworks should be carried out until the review is completed.

A stormwater cutoff drain shall be installed along the top of any cut slope greater than 2m in height.

3. Filling

Fill should not be placed on ground sloping at greater than 26° unless designed by a registered engineer experienced in soil mechanics and slope stability. No fill should be placed up slope of the crib wall within a line drawn at 45° from the foot of the crib wall. Elsewhere, any filling in excess of 1m in height should be designed by a registered engineer experienced in soil mechanics and soil stability.

4. Small Slip.

The loose soils within the existing small slip shown on Figure 1 should be removed above the RL 25m contour to a depth of 0.8m and this section of slope should be re-graded to a maximum slope angle of 26°.

5. Stormwater

All stormwater from roof and paved areas shall be collected and piped to the Council's reticulation system.

6. Vegetation

Vegetation generally enhances the stability of slopes. Site clearance should therefore be kept to a minimum and cleared areas should be planted as soon as possible.

7. Foundation Investigation.

This certificate does not remove the need for inspection and design of foundations that would normally ensue in natural ground as required in NZS3604:1990 "Code of Practice for Light Timber Buildings Not Requiring Specific Design"

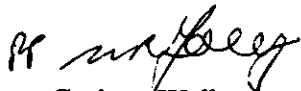
TONKIN & TAYLOR LTD
Nelson City Council, Nelson

3

Our Ref: 81041
21 April 1998

This certificate is furnished to the Nelson City Council alone. It is acknowledged that the Nelson City Council is entitled to provide information contained in this certificate pursuant to Section 31 of the Building Act 1992 and Section 44A of the Local Government Official Information and Meeting Act 1987.

Yours faithfully
TONKIN & TAYLOR LTD

A handwritten signature in black ink, appearing to read 'Graham Wallace', is written over the printed name.

Graham Wallace
Registered Engineer

Prepared by Mark Foley
Reviewed by Gary Smith

NELSON CITY COUNCIL

PO BOX 645 NELSON NEW ZEALAND PHONE 03-546 0200 FAX 03-546 0239

13 July 1998

A Luscombe
21 Douglas Road
NELSON 7001

21 DOUGLAS RD
IS TO BE THE
OTHER
LOT of LAND

Dear Sir

Proposal to Erect a Residential Unit at 209 Annesbrook Drive

Your Building Consent Application No BC980796 has been received and is currently being processed.

Your application has also been assessed in terms of compliance with the Resource Management Act 1991, the Nelson City Transitional District and the Proposed Nelson Resource Management Plan (Notified). As a result of this assessment, the following areas of non-compliance have been identified, and the following is to be provided:

- AMENDED PLAN
- (1) The site has no legal status. To date the Council has not received any Land Transfer Certificate from the District Land Registrar.
 - (2) When the Land Transfer Certificate is received boundary dimensions will be checked. **Boundary shapes and dimensions shown do not agree with the final plan approved.**
 - (3) The differences in boundary shapes may affect daylight around controls; these will be checked again when plans are changed.
 - (4) As this site is in a land management overlay and has cuts exceeding 1.2 metres a resource consent is required for "earthworks."
 - (5) **On the site plan** show where the four daylight angles are taken from and show levels on **north elevation** and site plan.

These areas of non-compliance will require resource consent approval before work can proceed. In order to avoid any building delays you should lodge an application for a resource consent immediately. The appropriate forms are attached.

The foregoing matters will need to be addressed before work can proceed. In order to avoid any building delays please provide amended plans.

If you wish to discuss the content of this letter please contact Don Ross at the telephone number provided above.

Yours faithfully


J S Pattison
Development Planner



Gibson Timber Ltd

Page: ProdSt - 1

Job: 806-06

Client: Steve Luscombe

Site: 209 Annesbrook Drive
Nelson

Description: 3-Bed Residence

Phone:

MiTek 2000 2.100 g6c

Gang Nail Group Ltd.

Mon Aug 10 14:16:05 1998

PRODUCER STATEMENT
MiTek 2000(tm) ROOF TRUSS DESIGN

Verification of MiTek 2000(tm) Design Program

The MiTek 2000(tm) roof truss design program has been developed by Gang-Nail Group Ltd for the design of Gang-Nail timber roof trusses in New Zealand. The truss designs computed by this program are prepared using sound and widely accepted engineering principles, and in accordance with NZS 4203, NZS 3603 and NZS 3604 as verification methods and acceptable solutions of the approved documents issued by the Building Industry Authority to satisfy the requirements of Clause B1: Structure of the Building Regulations 1992. This computer design for the proposed building complies with the relevant provisions of the NZ Building Code. This is subject to all proprietary products meeting their performance specification requirements, the provision of adequate bracing, fixings and the correct input of design data carried out by suitably trained personnel.

Summary of MiTek 2000(tm) Design Data and Output

The MiTek 2000(tm) computer design output for this job titled and located at the site identified on the top of this page is based on the following parameters entered into the program. The owner must ensure that the following job details below are current and relevant to the project before fabrication and erection of the Gang-Nail trusses.

Job Details

Roof Pitch:	20.00 deg	Timber Inventory:	DF_No.1.Fr.x50	Building Wind Zone:	Medium
Roof Material:	Metal Tiles	Ceiling Material:	Standard	Design Wind Speed:	37.0 m/s
TC Dead Load:	0.210 kPa	BC Dead Load:	0.200 kPa	Pressure Coefficient:	Cpe = -0.9
TC Restraints:	400 mm centres	BC Restraints:	400 mm centres		Cpi = 0.3
Roof Live Load:	Lu = 0.250 kPa	Truss Spacing:	1200 mm	Snow Load Zone:	Zone 3
	Lc = 1.0 kN	Standard Overhang:	600 mm	Altitude:	20 m
				Snow Load@20deg:	0.162 kPa

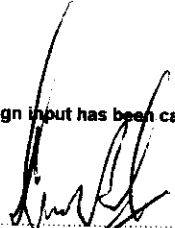
These trusses must be fabricated and erected in accordance with the Gang-Nail manual. Proper erection bracing must be installed to hold the components true and plumb and in a safe condition until permanent bracing is fixed. All permanent bracing and fixing must be installed before any loads are applied. The specifications for timber shall be as shown on the output. The timber shall be standard gauged and treated to the requirements of NZMP 3640.

Truss List

Legend: * : detail only, ? : input only, Fx: failed design, Unmarked trusses: designed successfully

Truss	Span (mm)	Pitch (deg)	Spacing (mm)	Truss	Span (mm)	Pitch (deg)	Spacing (mm)	Truss	Span (mm)	Pitch (deg)	Spacing (mm)
ET01	4700	20.00	576	J02A	1376	20.00	900	T03B	5800	20.00	1200
E102	5800	20.00	888	J02B	1376	20.00	900	T04	5800	20.00	1200
ET02A	5800	20.00	888	J02C	1376	20.00	900	T04A	5800	20.00	1200
J01	2276	20.00	900	J03	476	20.00	900	T04B	5800	20.00	1200
J01A	2276	20.00	900	J03A	476	20.00	900	TG01	6400	20.00	900
J01B	2276	20.00	900	T01	4700	20.00	576	V02	3753	20.00	900
J01C	2276	20.00	900	T02	4700	20.00	576	V03	2453	20.00	900
J01D	2276	20.00	900	T03	5800	20.00	1200	V04	2900	20.00	900
J02	1376	20.00	900	T03A	5800	20.00	1200				

The computer design input has been carried out by:

Signed: 

Date: 10 August 1998

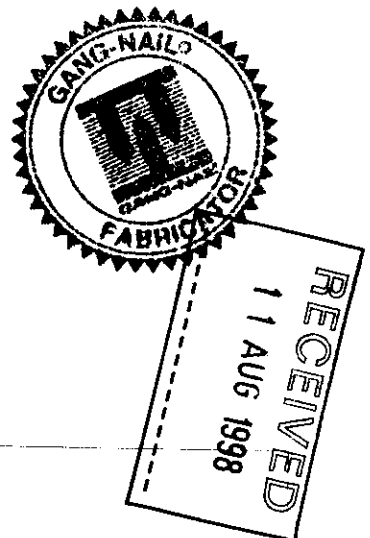
Name of Computer Operator:

Qualifications and Title:

Company:

Gibson Timber Ltd

Don Bate
Pre-cut Manager



Verification / Acceptance of Input Data:

We checked the input data against the construction drawings and specifications and verify that they are correct and suitable for this job.

Signed:

Date:

Signature:

Company:

Job: 806-06 Qty: 1 Client: Steve Luscombe
Truss: T01 Ply: 1 Phone:
Description: 3-Bed Residence

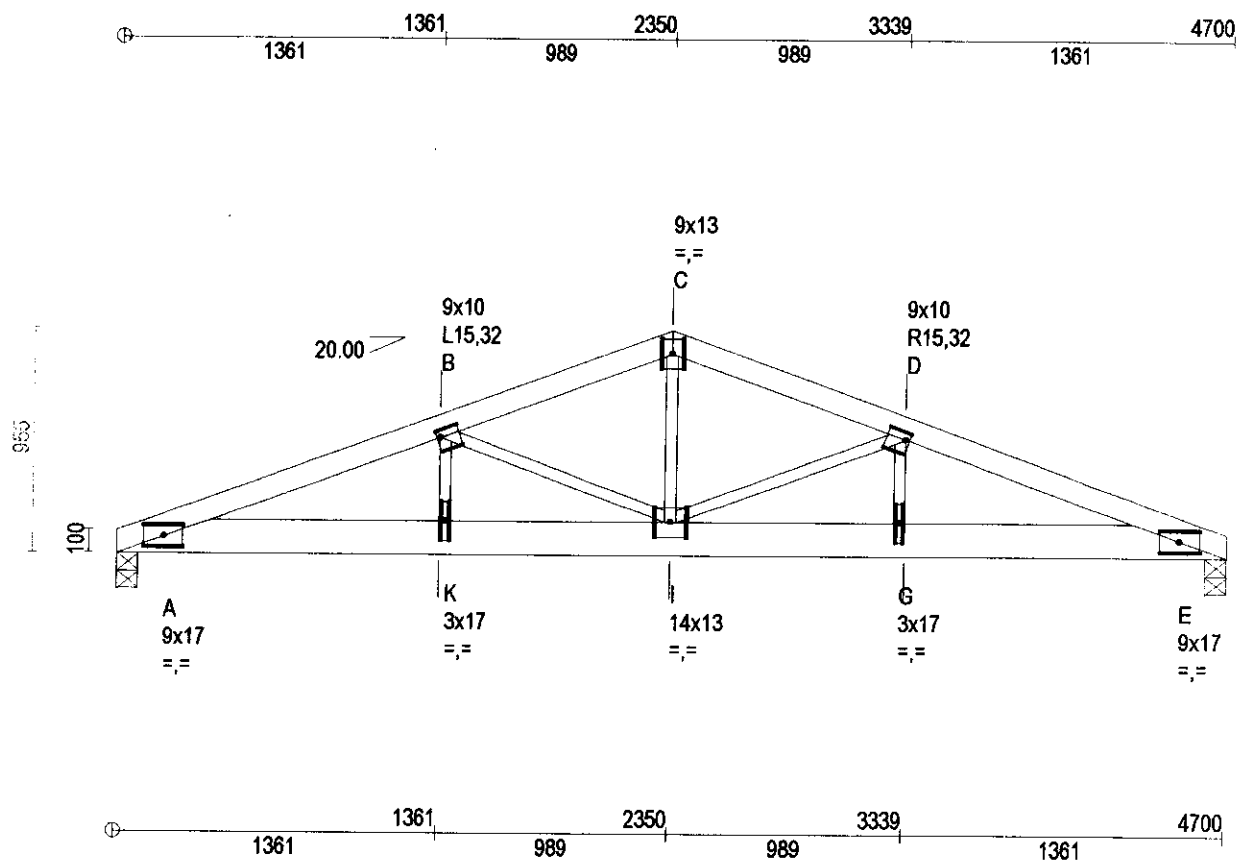
Site: 209 Annesbrook Drive
Nelson

Phone:

VTek 2000 2.100 g6c

Gang Nail Group Ltd.

Mon Aug 10 14:16:36 1998



Designed with warnings

Fabricator adjusted camber at joint I = 5 mm.
Overall Truss Height: 955

Job: 806-06 Qty: 1 Client: Steve Luscombe
 Truss: TG01 Ply: 1 Phone:
 Description: 3-Bed Residence

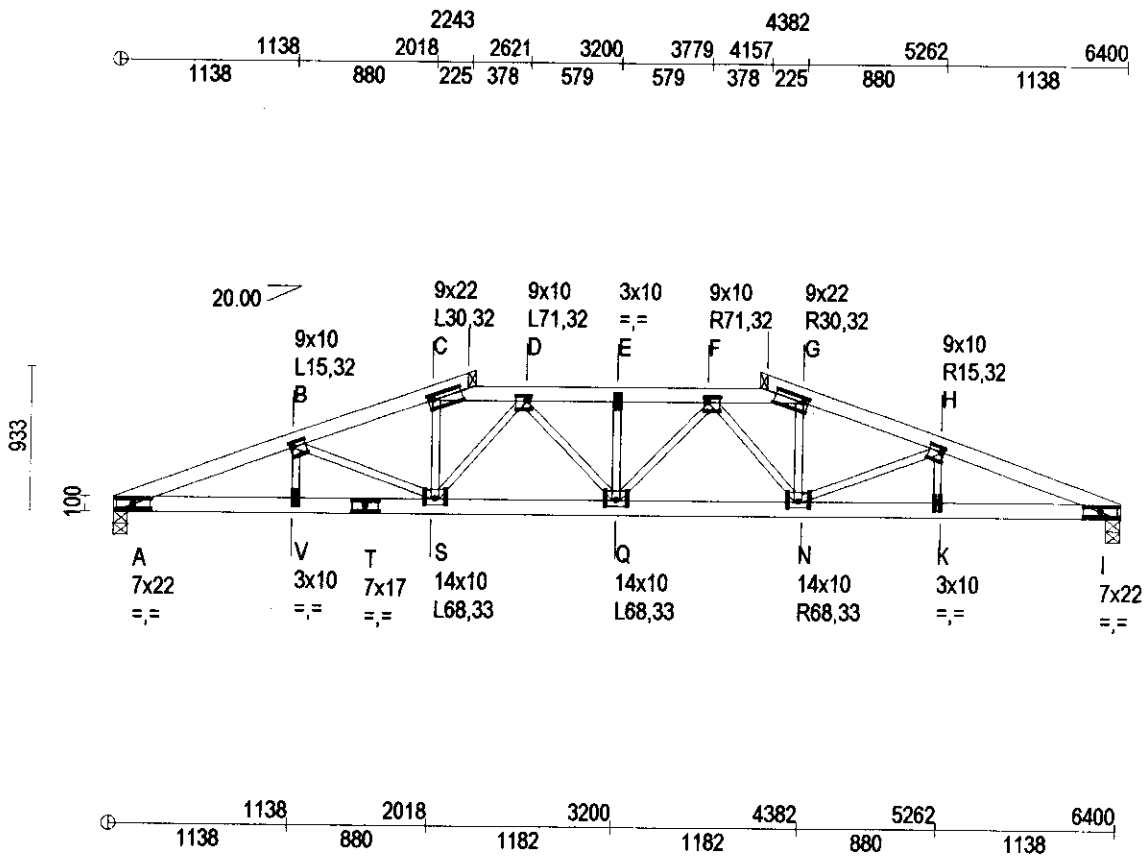
Site: 209 Annesbrook Drive
 Nelson

Phone:

M.Tek 2000 2.100 g5c

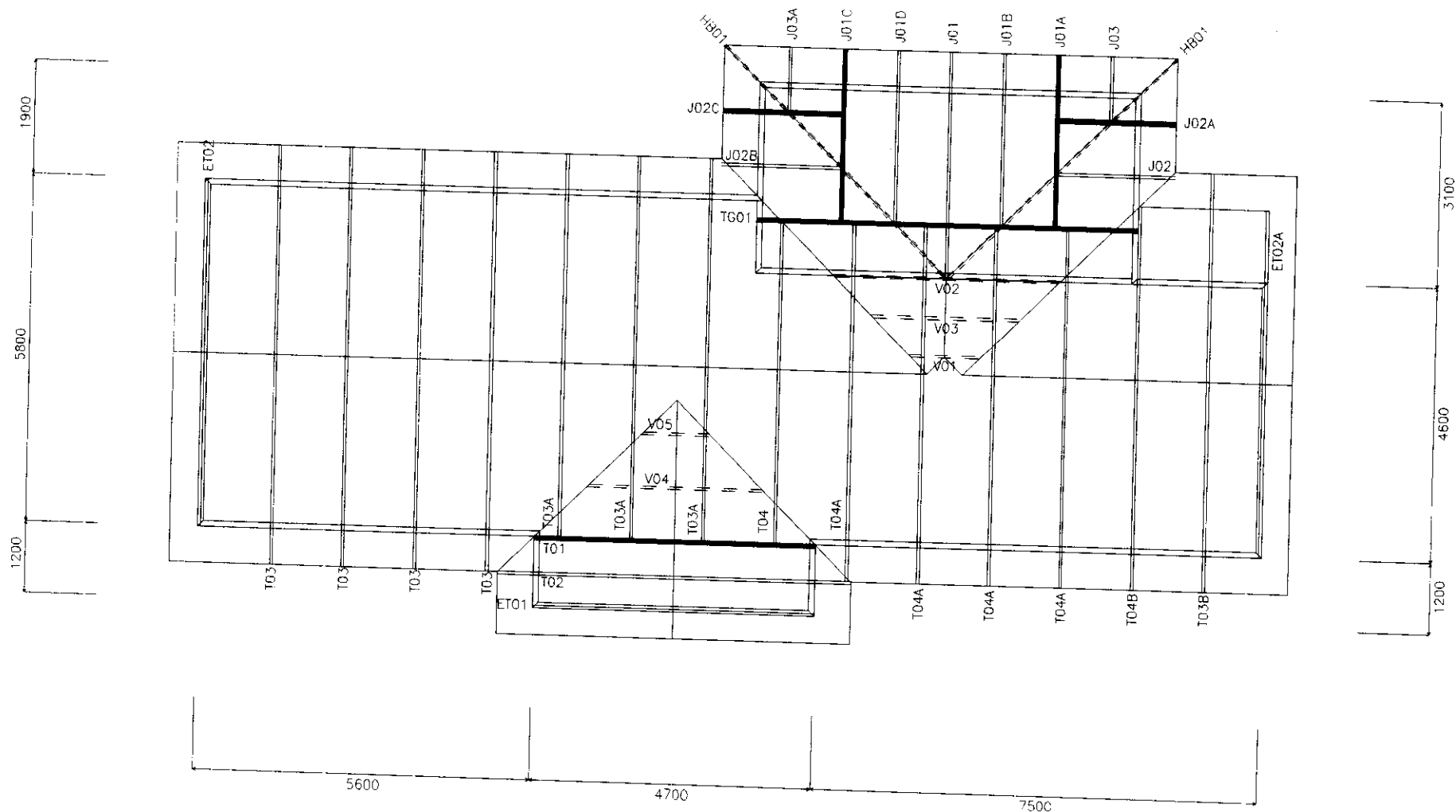
Gang Nail Group Ltd.

Mon Aug 10 14:16:28 1998



Designed with warnings

Fabricator adjusted camber at joint Q = 10 mm.
 Overall Truss Height: 933



Gibson Timber Ltd

76 Quarantine Road
Stoke
Nelson

Telephone: 03-547 7026
Fax: 03-547 5995

Builder: Steve Luscombe
Site Address: 209 Annesbrook
Drive
Nelson

Description: 3-Bed Residence

File:

806-06

Scale: 1:100

Date: 3/25/93

Drawn By: Don Bate

Job Details:

Snow Zone:	Zone 3	Snow Altitude:	20m
Ext. Pressure Coeff.:	-0.9	Int. Pressure Coeff.:	0.3
Wind Area:	Medium	Design Wind Speed:	37.0m/s
TC Restraints:	400mm	BC Restraints:	400mm
Roof Material:	Metal Tiles	Ceiling Material:	Standard
Roof Live Load:	0.250kPa	Snow Load:	0.162kPa
Roof Pitch:	20.00deg	Truss Centres:	1200mm

CONTOUR ROOFING & WINDOWS

PHONE (03) 546-4260

FAX (03) 546-4290

PO BOX 9015

ANNESBROOK

NELSON

QUOTATION No:

55

QUOTATION

BUYER PLACEMAKERS

DATE 9/6/98

ADDRESS RICHMOND

ACCOUNT Job No 6350

Dear Sir/Madam,

G.S.T. No. 61-878-386

We have pleasure in quoting you as per the attached details outlined below and attached schedule (if any):
NOTE: Window and Door items displayed are viewed from the outside.

To supply as per Quote
11 Window units
3 Hinged Door units
NR Price includes Timber Door.

18 AUG 1998

We (Seller) have allowed to supply (delete two);

1. ~~Ex Factory (i.e. At Sellers premises)~~ 2. Delivered to Site (i.e. To Installation premises) 3. ~~Supply & Fitted on Site (i.e. By installation at Installation Premises)~~

SIGN [Signature]
On behalf of Contour Roofing & Windows
We have read and understood the terms and conditions of sale overleaf and hereby accept this quotation in accordance with those terms and conditions.
Buyer, NOTE: This quotation is subject to a 10% discount as shown if paid by

SIGN (Buyer) _____ DATE: _____

DEPOSIT REQUIRED: \$ _____

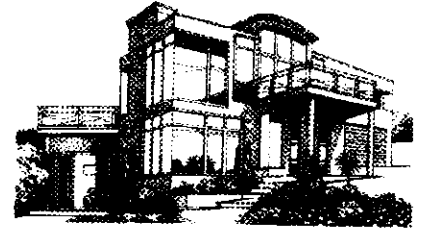
QUOTATION	\$	6220	69
+ G.S.T.	\$	777	59
TOTAL	\$	6998	28
LESS 10% PROMPT PAYMENT DISCOUNT	\$	699	82
NETT TOTAL	\$	6298	46

If this quotation is not received by the Seller signed on behalf of the Buyer within 30 days of the date of this Quotation, the Seller is entitled to treat any attempt to accept this Quotation as void.

ADDITIONAL QUOTATIONS:

<u>Shower Doors</u> ~ All safety glass, standard height, supply only \$ _____ Net Total Each + G.S.T.	<u>Wardrobe Door</u> ~ (Gib/Miner), supply only \$ 434.00 2 Sets. Net Total Each + G.S.T.
<u>Rooflights</u> ~ (Fixed/Opening), Supply only (W) _____ (H) _____ \$ _____ Net Total Each + G.S.T.	<u>Balustrading</u> \$ _____ P.O.A.

As discussed this price is conditional on allowing us to put a small (600 x 800) sign on the front of your premises for 2 months.



DATE QUOTED :09/06/98

QUOTE No: 55

PAGE: 1

ELITE

CONTOUR ROOFING & WINDOWS

PO BOX 9015, ANNESBROOK

9 MERTON PLACE

TAHUNANUI, NELSON

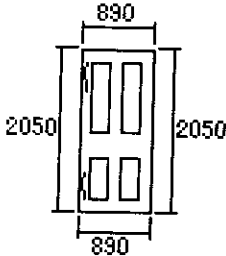
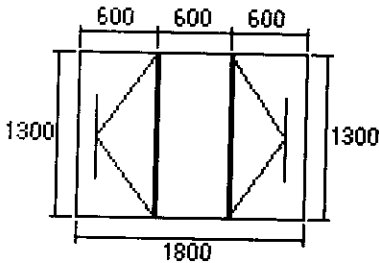
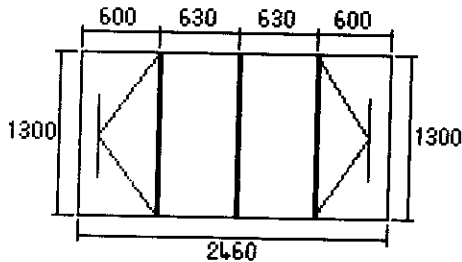
PHONE No.:03 546 4260

FAX No.:03 546 4290

CLIENT NUMBER: 3

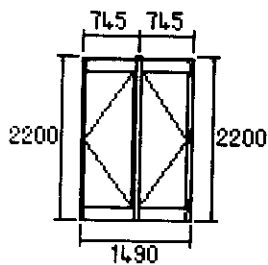
DATE MODIFIED:09/06/98

PLACEMAKERS JOB NO 6350

ITEM	"PLEASE CHECK CAREFULLY"	QTY
1	ENTRY DOOR	1
	 COLOR:KARAKA 3079 GLASS:CL LAMINATE TYPE : LINER:19*135 PAINT FINISH WIDTH: 135 FRAME:HING IN STD DR TRIM : 2060 x 900	
1	EXTRA FOR TIMBER DOOR	1
2	BEDROOM 2 WINDOW	1
	 COLOR:KARAKA 3079 GLASS:CL GLASS 1KPA TYPE : LINER:19*115 PAINT FINISH WIDTH: 115 FRAME:WINDOW TRIM : 1310 x 1810	
3	BEDROOM 1 WINDOW	1
	 COLOR:KARAKA 3079 GLASS:CL GLASS 1KPA TYPE : LINER:19*115 PAINT FINISH WIDTH: 115 FRAME:WINDOW TRIM : 1310 x 2470	

4 BEDROOM 1 DOORS

1



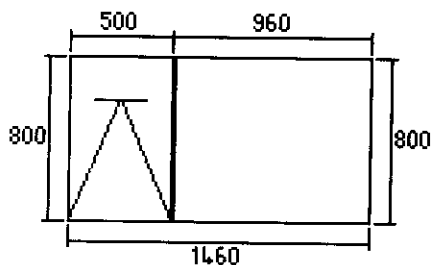
COLOR: KARAKA 3079
 GLASS: CL GLASS 1KPA
 TYPE : DOOR UNITS
 LINER: 19*115 PAINT FINISH
 WIDTH: 115
 FRAME: HING OUT STD DR
 TRIM : 2210 x 1500

4 EXTRA LEVER LOCK K/N

1

5 BATHROOM WINDOW

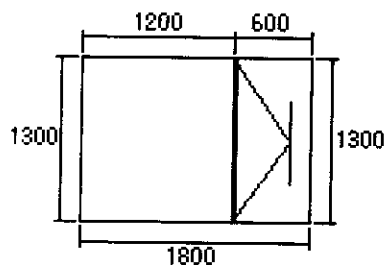
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COLOR: KARAKA 3079
 GLASS: CL STIPOLITE TOUGHEN
 TYPE :
 LINER: 19*115 PAINT FINISH
 WIDTH: 115
 FRAME: WINDOW
 TRIM : 810 x 1470

6 BEDROOM 3 WINDOW

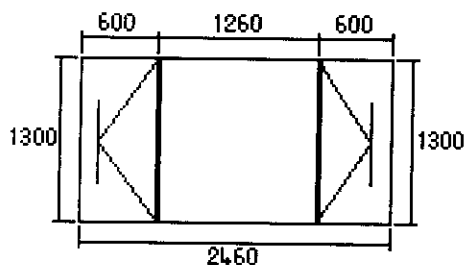
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COLOR: KARAKA 3079
 GLASS: CL GLASS 1KPA
 TYPE :
 LINER: 19*115 PAINT FINISH
 WIDTH: 115
 FRAME: WINDOW
 TRIM : 1310 x 1810

7 LOUNGE WINDOW

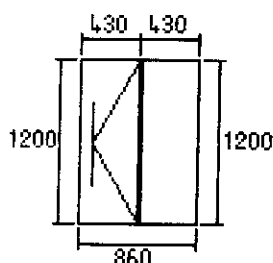
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COLOR: KARAKA 3079
 GLASS: CL GLASS 1KPA
 TYPE :
 LINER: 19*115 PAINT FINISH
 WIDTH: 115
 FRAME: WINDOW
 TRIM : 1310 x 2470

8 LAUNDRY WINDOW

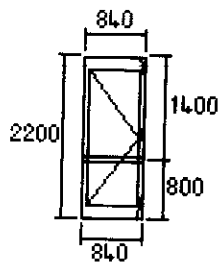
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COLOR: KARAKA 3079
 GLASS: CL GLASS 1KPA
 TYPE :
 LINER: 19*115 PAINT FINISH
 WIDTH: 115
 FRAME: WINDOW
 TRIM : 1210 x 870

9 LAUNDRY DOOR

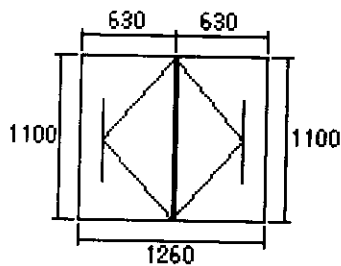
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COLOR:KARAKA 3079
 GLASS:CL GLASS 1KPA
 TYPE :DOOR UNITS
 LINER:19*115 PAINT FINISH
 WIDTH: 115
 FRAME:HING IN STD DR
 TRIM : 2210 x 850

10 KITCHEN WINDOW

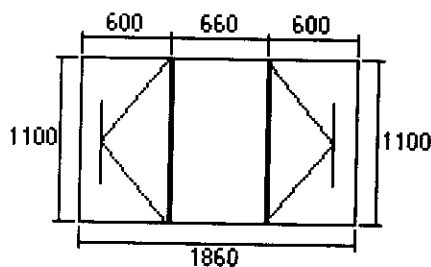
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COLOR:KARAKA 3079
 GLASS:CL GLASS 1KPA
 TYPE :
 LINER:19*115 PAINT FINISH
 WIDTH: 115
 FRAME:WINDOW
 TRIM : 1110 x 1270

11 KITCHEN WINDOW

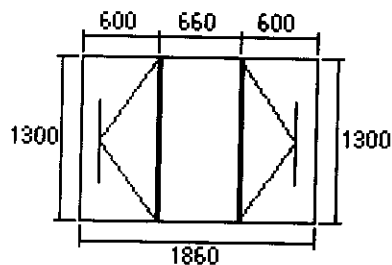
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COLOR:KARAKA 3079
 GLASS:CL GLASS 1KPA
 TYPE :
 LINER:19*115 PAINT FINISH
 WIDTH: 115
 FRAME:WINDOW
 TRIM : 1110 x 1870

12 DINING ROOM WINDOW

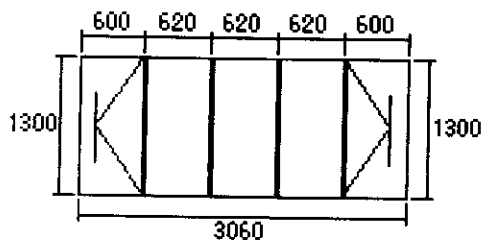
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COLOR:KARAKA 3079
 GLASS:CL GLASS 1KPA
 TYPE :
 LINER:19*115 PAINT FINISH
 WIDTH: 115
 FRAME:WINDOW
 TRIM : 1310 x 1870

13 LOUNGE WINDOW

1



COLOR:KARAKA 3079
 GLASS:CL GLASS 1KPA
 TYPE :
 LINER:19*115 PAINT FINISH
 WIDTH: 115
 FRAME:WINDOW
 TRIM : 1310 x 3070

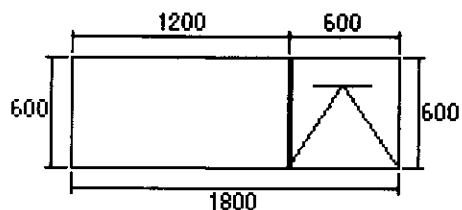
DATE QUOTED : 09/06/98

QUOTE No: 55

PAGE: 4

14 GARAGE WINDOW

1



COLOR: KARAKA 3079

GLASS: CL GLASS 1KPA

TYPE :

LINER: 19*115 PAINT FINISH

WIDTH: 115

FRAME: WINDOW

TRIM : 610 x 1810

TOTAL UNITS: 14

TRUSTING THIS IS AS YOU REQUIRE,
Yours Faithfully

DAVE FREEMAN

CONTOUR ROOFING & WINDOWS

BRACING CALCULATIONS & DETAILS

for
3 BEDROOM RESIDENCE
at
209 ANNESBROOK DRIVE
NELSON
for
E & S LUSCOMBE



**Allan Walters
draughting**

NZCD(arch) DANZ reg ANZIQS

Wai-iti

R.D.1 Wakefield

Phone / Fax 03-541 8156

Job No. 1335

18 AUG 1998

ALLAN WALTERS NZCD (arch), DANZ (reg), ANZIQS
JOB DETAILS

31-May-98

Job Name:	Luscombe	Job Number:	1335
Street Address:	209 Annesbrook Drive		
City/Town:	Nelson		
Legal Description:	Lot 1 Subdn Pt lot 5 DP 5476		

WIND ZONE - High Wind Zone

Region:	R1	Terrain:	Inland	Exposure:	Exposed	Topography:	Moderate
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EARTHQUAKE ZONE

Earthquake Zone (from NZS 3604 map):	A
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HOUSE DETAILS

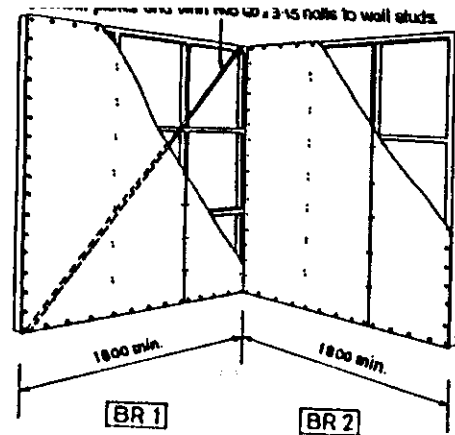
Number of Levels:	Single Storey House		
Building Dims:		Ground FL:	17.8 x 8.9m
Floor Areas:		Ground FL:	119m²
Typical Stud Height:	2.4m	Height to Roof Apex:	6m
Roof Pitch:	0-25°	Roof Height Above Eaves:	2m
Roof Cladding:	Light	Wall Cladding:	Heavy

WALL BRACING - Ground Floor/Along House

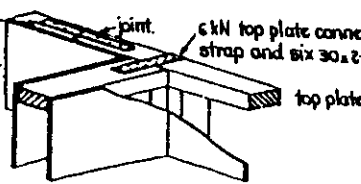
Wall or Bracing Line		Bracing Elements Provided				WIND		EARTHQUAKE	
Line Label	Minimum BU/Wall	Element No.	Bracing Type	Element Length	Element Height	Wall Rating BU/m	Achieved (BU/m x L)	Wall Rating BU/m	Achieved (BU/m x L)
A	178	1	GIB1b	2.4m	2.4m	75	180	50	120
		2	BR4	1.0m	2.4m	100	100	85	85
B	70	1	BR6	1.2m	2.4m	150	180	110	132
		2	GIB2b	2.4m	2.4m	80	192	70	168
C	178	1	BR4	1.0m	2.4m	100	100	85	85
		2	BR5	1.2m	2.4m	115	138	85	102
		3	BR5	1.2m	2.4m	115	138	85	102
Total Achieved BU's						1028 BU's		794 BU's	
Total Required BU's						570 BU's		547 BU's	

WALL BRACING - Ground Floor/Across House

Wall or Bracing Line		Bracing Elements Provided				WIND		EARTHQUAKE	
Line Label	Minimum BU/Wall	Element No.	Bracing Type	Element Length	Element Height	Wall Rating BU/m	Achieved (BU/m x L)	Wall Rating BU/m	Achieved (BU/m x L)
M	100	1	GIB1b	2.4m	2.4m	75	180	50	120
N	70	1	GIB2a	2.2m	2.4m	75	165	60	132
O	70	1	GIB2b	2.4m	2.4m	80	192	70	168
P	70	1	GIB1a	2.0m	2.4m	55	110	50	100
		2	BR6	1.2m	2.4m	150	180	110	132
Q	100	1	GIB1b	2.4m	2.4m	75	180	50	120
Total Achieved BU's						1007 BU's		772 BU's	
Total Required BU's						961 BU's		547 BU's	



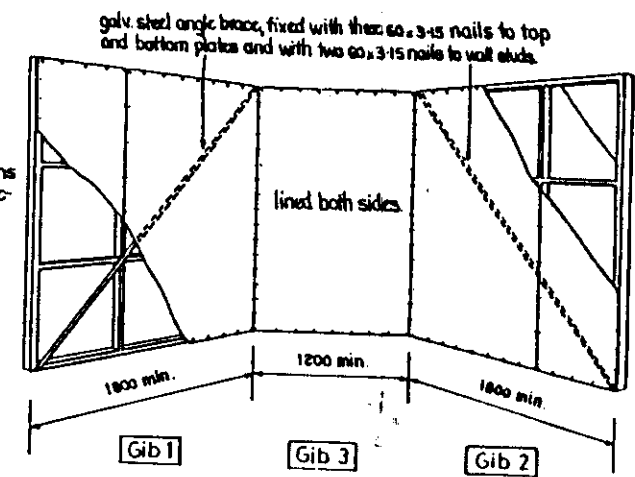
3kN top plate connection, with 25x1mm m.s. strap and three 30x2.5 nails on each side of joint.



Top Plate Connections

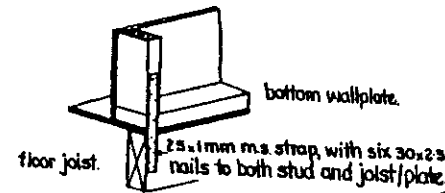
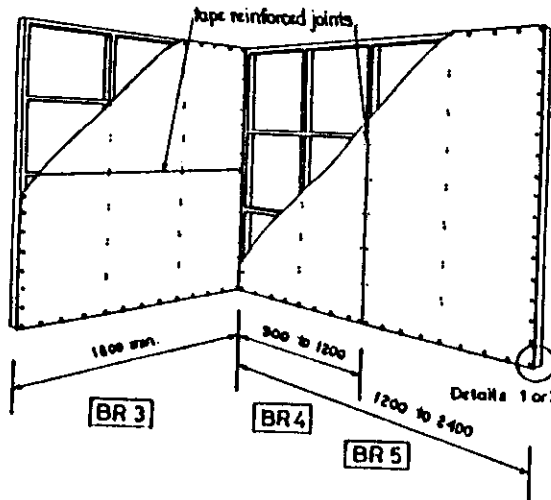
6 kN top plate connection with 25x1mm m.s. strap and six 30x2.5 nails on each side of joint.

see specifications for nailing requirements.



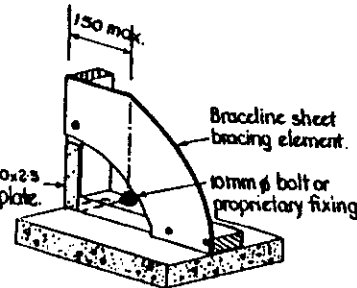
galv. steel angle brace, fixed with three 60x3-15 nails to top and bottom plates and with two 60x3-15 nails to wall studs.

lined both sides



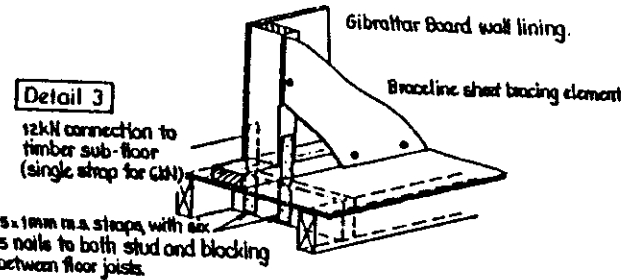
Detail 1

6kN connection to timber sub-floor. (both sides of stud strapped for 12kN)



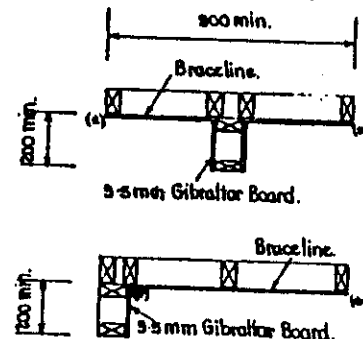
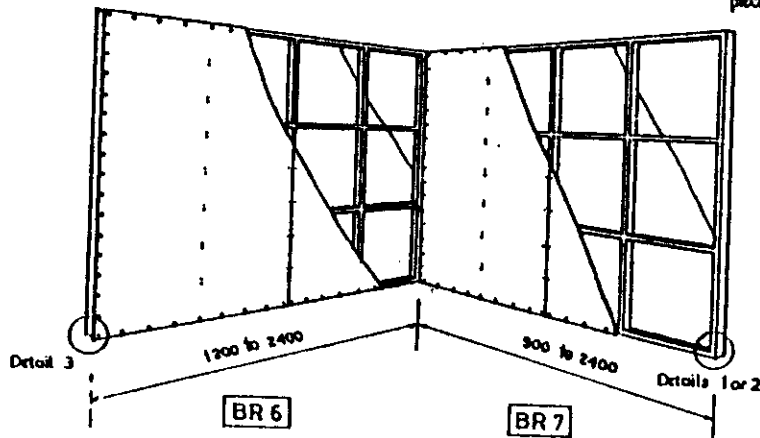
Detail 2

6kN connection to concrete (both sides of stud strapped for 12kN connection)



Detail 3

12kN connection to timber sub-floor (single strap for 6kN)



Types BR1 to BR7 may have standard 9-5 mm Gibraltar Board intersecting walls with a min. length of 200mm. Brace line nails and washers are required around the perimeter of the bracing element (*). Intermediate vertical joints may be nailed with standard Gib clouts at 300mm ccs, and should be tape reinforced and stopped.

Guidelines For Intersecting Walls

SPECIFICATIONS

Type	Description	Additional Requirements	Nailing & Stopping
Gib 1	9-5 mm GIBRALTAR BOARD on one face. min. length 1800.	Diagonal brace.	Gib 1, 2 and 3
Gib 2	9-5 mm GIBRALTAR BOARDS on both sides. min. length 1800.	Diagonal brace.	30x2.5 Gib clouts at 150mm ccs around the perimeter of the bracing element and at 300mm ccs to intermediate framing. Tape and stop all joints within the bracing element.
Gib 3	9-5 mm GIBRALTAR BOARDS on both sides. min. length 1200.	No additional requirement.	
BR 1	BRACELINE on one face. min. length 1800.	Diagonal brace.	BR 1, 2, 3, 4, 5, 6 and 7
BR 2	BRACELINE vertical on one face. min. length 1800.	No additional requirement.	30x2.5 Gib clouts fitted with BRACELINE washers at 150mm ccs around the perimeter of the bracing element and at 300mm ccs to intermediate framing. Tape and stop all joints within the bracing element.
BR 3	BRACELINE horizontal on one face. min. length 1800.	No additional requirement.	
BR 4	BRACELINE on one face. length 300 to 1200.	6 kN end-stud fixings.	
BR 5	BRACELINE on one face. length 1200 to 2400.	6 kN end-stud fixings.	
BR 6	BRACELINE & GIBRALTAR BOARDS on opp. sides. length 1200 to 2400.	12 kN end-stud fixings.	
BR 7	BRACELINE on one face 7.5 mm ply on other. length 300 to 2400.	6 kN end-stud fixings.	

GIB BOARD®
WINSTONE WALLBOARDS LTD

AUCKLAND
Telephone (09) 642-184
Fax (09) 642-972
WELLINGTON
Telephone (04) 684-283
Fax (04) 687-844
CHRISTCHURCH
Telephone (03) 332-3159
Fax (03) 337-1014

FOR FULL DETAILS REFER. "GIBRALTAR BOARD™ WALL BRACING SYSTEMS"

Table 1: 9.5mm Gib® wall system

(see page 18 for fixing details)

NZS 3604 : 1990 Ratings in bracing units per metre of element length

Type	Primary Bracing Element	Secondary Bracing Element	Wind	Earthquake
GIB 1	9.5mm Standard Gib® lining on one face, not less than 1.8m long	Diagonal Brace Diagonal Brace	55 75	50 50
(a) 1.8m and less than 2.4m (b) 2.4m and longer				
GIB 2	9.5mm Standard Gib® lining on both faces, not less than 1.8m long	Diagonal Brace Diagonal Brace	75 80	60 70
(a) 1.8m and less than 2.4m (b) 2.4m and longer				
GIB 3	9.5mm Standard Gib® lining on both faces, not less than 1.2m in length	N/A	65	60

DEFINITION: A diagonal brace is a galvanised steel angle brace with the minimum dimensions of 19 x 19 x 1.0mm.

Table 2: Gib Braceline® wall systems

(see page 17 for fixing details)

NZS 3604 : 1990 Ratings in bracing units per metre of element length

Type	Primary Bracing Element	Secondary Bracing Element	Wind	Earthquake
BR1	Gib Braceline® lining on one face 1.8m - 2.4m	Diagonal Brace Diagonal Brace	70 90	60 75
(a) 1.8m - 2.4m (b) 2.4m and longer				
BR2	Gib Braceline® lining on one face, vertically fixed 1.8m-2.4m	N/A	75 85	60 60
(a) 1.8m-2.4m (b) 2.4m and longer				
BR3	Gib Braceline® lining on one face, horizontal fixing 1.8m-2.4m	N/A	60 95	45 65
(a) 1.8m-2.4m (b) 2.4m and longer				

DEFINITION: A diagonal brace is a galvanised steel angle brace with the minimum dimensions of 19 x 19 x 1.0mm.

Table 3: Gib Braceline® sheet brace panels

(see page 16 for fixing details)

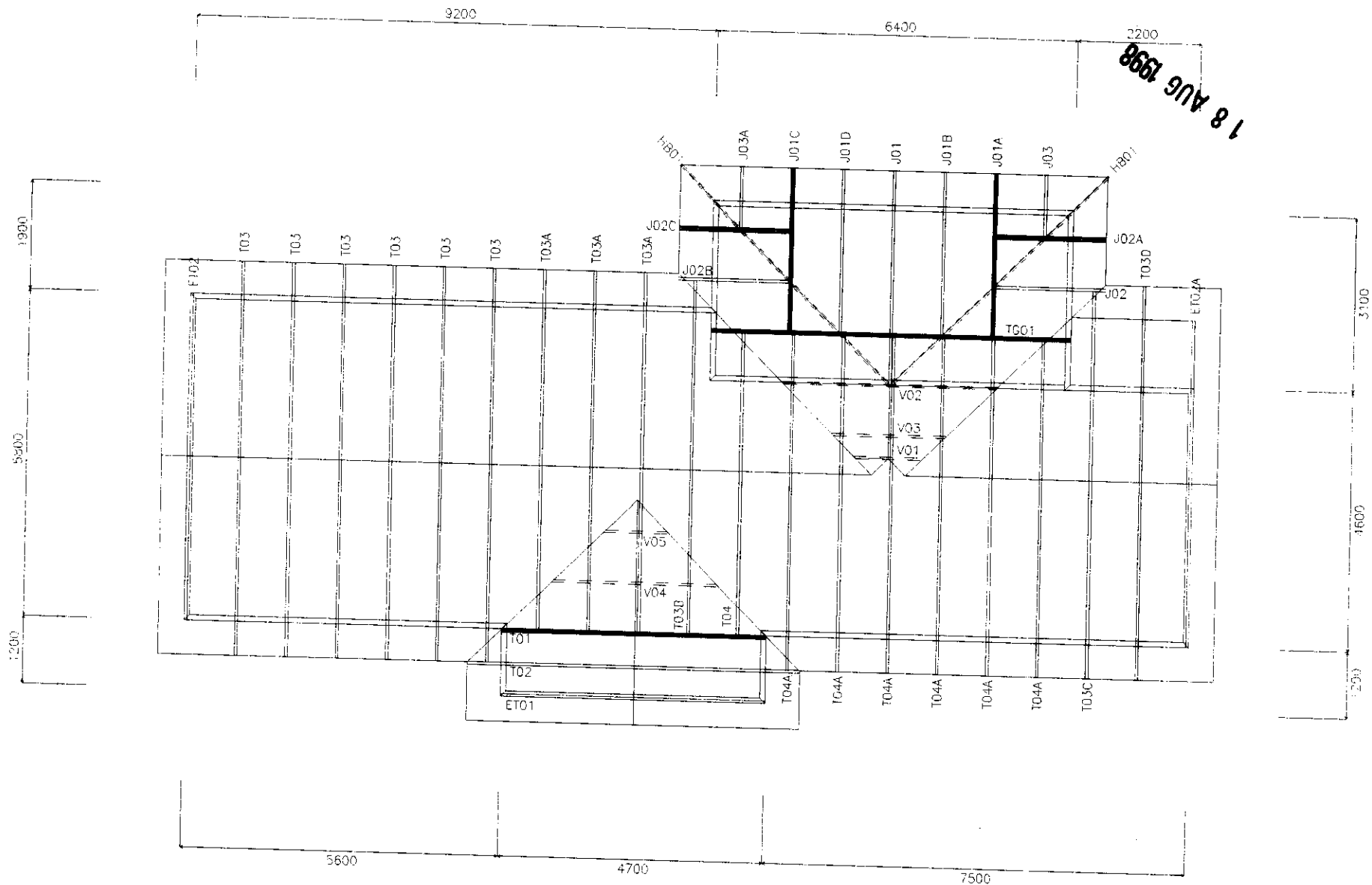
NZS 3604 : 1990 Ratings in bracing units per metre of element length

Type	Primary Bracing Element	Secondary Bracing Element	Wind	Earthquake
BR4	Gib Braceline® lining on one face, not less than 0.9m long and a maximum of 1.2m in length	Metal strap of 6kN capacity fixed to both wall end studs	100	85
BR5	Gib Braceline® lining on one face, not less than 1.2m long and a maximum of 2.4m in length			
BR6	Gib Braceline® lining on one face, 9.5mm Standard Gib® on the other, (fixed as a braced wall) not less than 1.2m long and a maximum of 2.4m in length	2 metal straps of 6kN capacity fixed to both ends of the wall or alternative 12kN capacity connection	115	85
BR7	Gib Braceline® lining on one face and 7.5mm ply on the other. Not less than 0.9m long and a maximum of 2.4m in length			
BR8	Gib Braceline® lining on one face and 4.75mm Hardboard on the other. Not less than 0.9m long and a maximum of 2.4m in length	Metal strap of 6kN capacity fixed to both wall end studs	145	145
BR9	Gib Braceline® on one face min length 0.6m max length 1.2m			
		Both wall end studs require a fixing of 6kN capacity to the floor framing	120	95
			110	95

FOR WALL HEIGHTS OTHER THAN 2.4 METRES multiply the ratings by '2.4 / wall height', except that this factor shall not be greater than 1.33.

1.064

NELSON CITY COUNCIL



Gibson Timber Ltd

76 Quarantine Road
Stoke
Nelson

Telephone: 03-547 7026
Fax: 03-547 5995

Builder: Steve Luscombe
Site Address: 209 Annesbrook
Drive
Nelson

Description: 3-Bed Residence

File:

806-06

Scale: 1 : 100

Date: 8/06/98

Drawn By: Don Bate

Job Details:

Snow Zone:	Zone 3	Snow Altitude:	20m
Ext. Pressure Coeff.:	-0.9	Int. Pressure Coeff.:	0.3
Wind Area:	Medium	Design Wind Speed:	37.0m/s
TC Restraints:	400mm	BC Restraints:	400mm
Roof Material:	Metal Tiles	Ceiling Material:	Standard
Roof Live Load:	0.250kPa	Snow Load:	0.162kPa
Roof Pitch:	20.00deg	Truss Centres:	900mm

SPECIFICATION

for

3 BEDROOM RESIDENCE

at

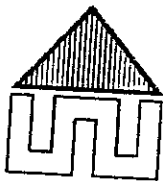
209 ANNESBROOK DRIVE

NELSON

for

E & S LUSCOMBE

18 AUG 1998



**Allan Walters
draughting**

NZCD(arch) DANZ reg ANZIQS

Wai-iti

R.D.1 Wakefield

Phone / Fax 03-541 8156

Job No. 1335

PRELIMINARY & GENERAL

1.01 SCOPE OF WORK

This contract comprises the erection and completion in the best trade practice all the work shown or reasonably implied on the accompanying drawings and this specification, the supply of all necessary plant, tools and materials and the maintenance of all works as stated in these conditions.

1.02 BUILDING CONSENT AND NOTICES

The Owner shall be responsible for applying to and uplifting from the local authority any building consents and for paying all necessary fees. The Owner shall provide the contractor with the approved documents and the local authority inspection schedule. It shall be the Contractors responsibility to give the required notice and to ensure that required inspections are carried out by the Local Authority and to ensure that all work is carried out to enable compliance certificates are able to be issued at completion of the works. The cost of any additional inspections required because of insufficient or faulty work by the Contractor shall be borne by the contractor.

1.03 COMPLIANCE CERTIFICATES

The contractor shall ensure that all relevant compliance certificates are issued.

1.04 N Z BUILDING REGULATIONS

All work shall be carried out to comply with the N Z Building Act 1991 & Regulations and shall conform to the NZBC Approved Documents.

1.05 CONTRACT

N Z Standard 3910 : 1987 conditions of Contract for Building and Civil Engineering Construction, shall apply to this project unless otherwise agreed upon by both parties. The contractor shall be responsible for presenting two identically filled in contract documents for signing by both parties prior to the commencement of any work.

1.06 HEALTH AND SAFETY

The Contractor shall comply with the Health and Safety in Employment Act 1992, effectively operating a Safety Management Programme for the duration of the contract.

1.07 SUBCONTRACTORS

All Subcontractors employed by the main Contractor shall be equally bound by the Preliminary & General section of this specification.

1.08 INSURANCE

The Contractor shall at all times keep the whole of the works fully covered by insurance, as set out in NZS 3601 : 1987 section 7. The Contractor shall also carry a minimum of \$1,000,000 public liability insurance.

1.09 INTERPRETATION

Materials or work shown on the drawings but not specified (or specified and not shown), shall be supplied as if both shown and specified. Materials shown but not specified must be of types commonly employed for the service they are intended to perform. The Contractor shall be responsible for setting out the work and shall make good at this own expense any errors that occur through his lack of checking or faulty workmanship.

All figured dimensions shall be used in preference to scale.

Unless written as "provide only" or "fix only" the words "provide" and "fix" shall mean provide and fix.

1.10 STABILITY DURING CONSTRUCTION

The contractor shall carefully brace and support all parts of his work against damage by wind and protect work from the elements as necessary during the contact period.

1.11 PROTECTION OR PROPERTY

The contractor shall take care to protect all existing buildings, roads, grounds, shrubbery etc, on or about the site from damage by his operations. Any such damage shall be made good at the Contractors expense.

1.12 TEMPORARY SERVICES

The Contractor shall arrange for all temporary services, pay all fees in connection therewith and remove same on completion of the contract.

1.13 SITE VISIT

Tenderers shall visit the site and ascertain the nature and extent of the work and the rights and interests that may be interfered with any other matter that may influence the making up of a tender or the carrying out of the contract. The levels shown on the plans are approximately correct but Tenderer shall verify these as no claims will be allowed on the bases of incorrect levels shown.

1.14 WORKMANSHIP

All workmanship shall be in accordance with the best trade practice. Work shall be accurately set out, structurally sound, true to line and face and shall be neatly finished to the satisfaction of the Owner.

1.15 ENGINEERS INSPECTIONS

The Contractor shall note the Engineers producer statement and inspection schedule and shall allow to provide notifications and co-operation for all inspections required by the Engineer.

1.16 ATTENDANCE

The Contractor shall allow for attendance upon all sub contractors as necessary to enable satisfactory completion of the works. Allow to form all holes, chases, building in, making good and cutting away for all trades.

1.17 COMPLETION

The Contractor at the conclusion of the Contact shall have all trade debris removed from the site and the building left clean and ready for occupancy. All services and mechanical parts shall be in good working order.

EXCAVATION & BACKFILLING

3.01 PRELIMINARY & GENERAL

Refer to Conditions of Contract and preliminary clauses of this specification which shall apply equally to this section

3.02 SCOPE

The Contractor shall perform all excavation and backfill as necessary to complete the works.

3.03 EXCAVATIONS

The Contractor shall remove all vegetation, topsoil, etc. Over the area to be built over. If topsoil is to be stockpiled it shall be as directed by the owner or his representative.

All foundations shall be excavated straight and level and wide enough to take boxing for concrete and for removal of same. The base of all excavations shall be hand trimmed to remove all loose material. Over excavation shall be filled with hardfill and compacted at the contractors expense.

3.04 INSPECTION

Excavations shall be inspected by the Engineer after full excavation and prior to placing of any boxing, reinforcing, or concrete. The Contractor shall notify the Engineer when the excavations are ready for inspection.

3.05 BACKFILLING

Backfilling to bring floors up to grade shall be approved granular hardfill compacted in layers not exceeding 150mm thick with a mechanical compactor and finished with a 50mm sand blinding.

3.06 CONTROL OF WATER

The Contractor shall keep the excavations free of water at all times and shall provide all suction pumping plant and other materials as may be required for this purpose.

CONCRETE WORK & REINFORCING

4.01 PRELIMINARY & GENERAL

Refer to Conditions of Contract and preliminary clauses of this specification which shall apply equally to this section.

4.02 SCOPE OF WORK

Allow to set out to profiles shown and reinforce as detailed all concrete to foundations including walls slab thickenings floor slabs etc as shown on the plans.

4.03 FORMWORK

Formwork shall be constructed to ensure concrete thickness and shapes required as indicated on the plans. Methods of construction and pouring and curing of concrete and times of removal shall be as set down in NZS 3109.

4.04 CONCRETE

All concrete shall be premixed in a certified plant.

Precast tilt panel concrete shall be min 30 mpa at 28 days.

All other concrete shall be min 20 mpa at 28 days.

Floor slabs shall be power float finished to a smooth hard surface.

4.05 REINFORCING

Reinforcing shall be deformed bars and mesh, sizes as indicated on the drawings, and shall be free from rust, scale, oil or paint and shall be securely tied to provide min 75 bottom cover to foundation walls and 50 cover to all other areas. Bind all rods with black tie wire. Laps shall be min 40 diameters of rod.

4.06 VAPOUR BARRIERS

Concrete floors shall be poured over Dampguard Concrete underlay or similar vapour barrier with joints lapped min 150mm and sealed with polythene tape. Any holes shall be sealed prior to concrete being poured and the contractor shall take adequate care to ensure that the vapour barrier is protected during the pouring.

4.07 CONCRETE FOUNDATIONS

Concrete floor slabs shall be formed to profiles shown on plans and shall be reinforced as detailed. Slab thickness shall be as shown on plans. Floor slabs shall be within 48 hours of pouring into areas not greater than 5 metres x 4 metres to allow for shrinkage. Cuts shall be 25mm deep and shall be filled with Expandite Thioflex 600 to be applied to manufacturers specification to surfaces primed with Expandite primer. No 7.

4.09 BUILDING IN

Build in as work proceeds all bolts, ties, etc.

Leave PVC piping through foundation for power, telephone, water pipes and drains. Positions to be determined on site in consultation with relevant subcontractors.

4.11 SUBCONTRACTORS

Co-operate with all subcontractors for the laying of pipes conduits cables etc.

STUCCO WORK

8.01 PRELIMINARY & GENERAL

Refer to Conditions of Contract and preliminary clauses of this specification which shall apply equally to this section.

8.02 SCOPE OF WORK

The supply and fixing of all labour, materials and scaffolding required to complete the work shown on the plans. All work shall be carried out in the best workmanlike manner. Windows and exterior joinery shall be installed building paper. Metal head flashings shall extend min 50mm past end of units and building paper must overlap these flashings. Use galvanised or zinc flashings to jambs of timber joinery units and 100mm dpc folded into jambs of metal joinery.

Plastering shall be 3 coat work. The first two coats shall have a combined thickness of at least 18mm and the third coat shall have a maximum thickness of 3mm. Care shall be taken to ensure that the initial coat is of uniform thickness to avoid cracking.

All work shall comply with the BRANZ "Good Stucco Practise" publication.

8.03 MATERIALS

Shall be the best of their respective kinds. Sand shall be clean river sand, water shall be clean and cement shall be fresh.

8.04 REINFORCING

Reinforcing shall be minimum 18g galvanised netting or mesh fixed to studs over building paper with 40mm galvanised staples leaving 10mm gap behind. All joints shall be lapped min. 150mm. Place bandage strips over corners and under windows.

8.05 PROTECTION

Before plastering commences ensure that adjoining building elements, especially aluminium and glass, are masked or otherwise protected from contact with plaster.

8.06 PLASTER MIX

Refer to NZS 4851 "Code of practice for solid plaster" and NZS 3103 "Sands for mortars and plasters".

Mix proportions as per Table 8 in NZS 4251, i.e. one part cement to three parts sand.

Make the first coat strong and progressive coats weaker.

Measure proportions with gauge boxes rather than by shovels.

Maintain constant water cement ratio of around 0.5.

Use admixtures strictly in accordance with manufacturers specifications.

8.07 PLASTERING

Form construction joints where cracking is likely i.e. under and over window corners adjacent to large wall areas. Generally control joints shall be at no greater spacings than 4 metres vertically and horizontally. Work only in the shade, hanging shade cloth if necessary to keep direct sun from new plaster.

Spray a fine water mist as soon as possible to new plaster and respray for a minimum of 3 times daily for 1 week after completion to enable plaster to cure and prevent cracking.

8.08 NON-RIGID BACKING

Studs shall be at max 480 centres. Light weight building paper shall be fixed over frame 50 x 25 battens shall be placed over each stud. Danband tapes shall be stretched around building at 300 centres (or lightweight galv netting) and over laid with heavy duty building paper as backing to stucco.

8.09 RIGID BACKING

Rigid backing shall be 4.5mm "Hardibacker", Pinex Triple S or 7.5 plywood (as shown on the plans) fixed strictly to manufacturers specifications and shall be over laid with building paper before stucco reinforcing is fixed. Care should be taken to ensure stud and dwang spacings are set out to suit the respective backings.

8.10 WALL LININGS

Ensure all internal wall lining is fixed before applying any plaster.

8.11 PAINTING

All stucco cladding shall be painted after the plaster has dried for four weeks with high build acrylic based paint.

8.12 COMPLETION

At completion remove all rubbish and excess material (related to the trade) from the site.

CARPENTRY

11.01 PRELIMINARY AND GENERAL

Refer to Conditions of contract and preliminary clauses of this specification which shall apply equally to this section.

All work shall comply with NZS 3604 and NZBC acceptable solutions.

11.02 EXTENT OF WORK

The work shall include all labour, materials and equipment necessary to carry out and complete the carpentry as shown, or as further required by this specification. Any work that is intended or implied but not specifically shown but necessary for proper completion of the building shall be included.

11.03 ATTENDANCE & PROTECTION

Arrange and attend upon all works by other trades. Provide all blockings fixings, trims as necessary for the full completion of their respective works and make good after all trades. Provide all temporary supports. Provide for temporary protection from adverse weather and damage and ensure the closing in of the building as soon as possible.

11.04 MATERIALS AND WORKMANSHIP

All materials shall be the best of their respective kinds. All timber and wood based products shall conform to NZS 3602 requirements, "Code of Practice for Specifying Timber and Wood Based Products for use in Building". All timber exposed to the weather shall be H3 treated Radiata. Internal framing timber shall be Douglas or H1 treated Radiata. All framing timber in walls shall be gauged four sides. Moisture content for framing timber shall be not greater than 16% at the time of lining. Timber sizes and spacing shall be as designated on the plans.

11.05 COMPLIANCE WITH THIS SPECIFICATION

a. Do any work under specific design in accordance with details provided. The Contractor and Carpenter shall do all other work in accordance with NZS 3604, in particular complying with the whole of Section 2- General of NZS 3604. The requirement here shall be to meet NZBC Approved Documents B1- Structure. B2 - Durability. E2-External Moisture.

b. All fixings of materials shall be the equal of that in Appendix A of NZS 3604. Including sheet lining and cladding materials that are not wood based, e.g. Gibraltar board or wood cellulose sheeting, especially when used as diaphragms and for wall bracing.

c. Mild steel structural components used in sub floor spaces, exposed to the weather or in a position where condensation or dampness will occur shall be hot dipped galvanised after forming and shall provide the necessary capacities called for by NZS 3604 dependent on function and location.

11.06 DAMP PROOF COURSE

Provide continuous two ply bituminous dampproof course between all timber and concrete that would otherwise be in contact.

11.07 HOLDING DOWN BOLTS

Bottom plates shall be fixed down over DPC with 100 long 12 Diam Dynabolts or bolts cast into concrete min 100mm at max 1200 centres.

11.08 FINISHING TIMBERS

All exposed finishing timbers shall be dressed to a smooth surface and shall be sanded to a smooth even surface ready for painting.

Moisture content of finishing timber shall be not greater than 12% at time of fixing.

11.09 SCHEDULE OF TIMBERS

Member	Size	Max cen.	Type /quality
Bottom Plates	100 x 50		H1 rad. or douglas
Studs (main frames)	100 x 50	600	H1 rad. or douglas
Studs (minor partitions)	100 x 40	600	H1 rad. or douglas
Trimmer studs	As NZS 3604 table 6.6		H1 rad. or douglas
Lintels	As NZS 3604 table 6.7 (shown on plans)		H1 rad. or douglas
Top Plates	150 x 40 & 100 x 50		H1 rad. or douglas
Dwangs (main frames)	100 x 40	800	H1 rad. or douglas
Dwangs (partitions)	100 x 40	800	H1 rad. or douglas
Ridges & Hips	100 x 25		H1 rad. or douglas
Soffit framing	75 x 40		H1 rad. or douglas
Ceiling battens	75 x 40	400	H1 rad. or douglas

11.10 ROOF TRUSSES

Roof trusses shall be Gangnail or equivalent factory manufactured trusses spaced as shown on the plans. The manufacturer shall provide setout drawings to the contractor. All trusses shall be fixed at each end with min. 2 /100 x 4 nails and 2 galv. Z nails.

11.11 BRACES

Where shown on plans and in bracing calculations fit galvanised steel angle bracing in single lengths. Braces shall be fixed with three 60 x 3.15 F.H. nails to top and bottom plates and two 60 x 3.15 F.H. nails at each stud crossing.

11.12 BUILDING PAPER

Fix breather type building paper to the exterior face of stud framing or sheet bracing material prior to the fixing of cladding materials. Building paper shall extend from top plate to the under side of bearers supporting wall claddings. Paper shall be run horizontally with top sheet lapping lower sheet with laps not less than 75mm and shall be adequately secured to plates and studs.

11.13 CLADDINGS

12.5 Plywood

Shall be Cpd H3 treated fixed with 40 x 2.5 galv clouts at 150mm centres to perimeter and at 300 centres to intermediate studs. Sections of walls which are shown on the plans as braced panels shall be fixed complete with secondary bracing elements as required by the relevant BRANZ appraisal certificate.

11.14 LININGS

9.5 Gibraltar Board

Shall be fixed to manufacturers specifications with galvanised clouts, adhesives or coated screws. Allow to tape joints, stop all surfaces sand and leave ready for painting. Replace 9.5 Gibraltar board with 9.5 Braceline Gibraltar board where required for bracing panels as set out on plans. Fixings shall be as required by manufacturers and BRANZ appraisal certificates for the relevant brace panel type.

11.16 SOFFIT LININGS

Fix 4.5 Hardiflex to all soffits with galvanised 40 x 2.5 F.H. nails. Joints shall be made with PVC Hardijointer.

11.17 INSULATION

Ceilings R 2.4 batts

External walls R 1.6 batts.

Batts shall be friction fitted between framing members, care shall be taken to ensure there are no gaps and that all gaps around doors and windows are also filled.

11.18 SCHEDULE OF LININGS

Room	wall lining	finish	ceiling lining	finish
Lounge	9.5 Gib bd	paint	9.5 Gib bd	paint
Dining	9.5 Gib bd	paint	9.5 Gib bd	paint
Kitchen	9.5 Gib Bd	paint	9.5 Gib bd	paint
Bedroom 1	9.5 Gib bd	paint	9.5 Gib bd	paint
Bedroom 2	9.5 Gib bd	paint	9.5 Gib bd	paint
Bedroom 3	9.5 Gib bd	paint	9.5 Gib bd	paint
Passages	9.5 Gib bd	paint	9.5 Gib bd	paint
Bathroom	Aqualine Gib	paint	9.5 Gib bd	paint
Ensuite	Aqualine Gib	paint	Aqualine Gib	paint
W.C.	Aqualine Gib	paint	Aqualine Gib	paint
Dressing	9.5 Gib bd	paint	Aqualine Gib	paint
Garage	9.5 Gib bd	paint	9.5 Gib bd	paint

not included.

Line only garage wall adjoining house

11.19 SKIRTING AND SCOTIA

Skirting 60 x 12 MDF

Scotia 40 x 20 bevelled MDF

Nail fixings of all finishing timbers shall be punched.

11.20 GARAGE DOOR

Provide and install Colorsteel tilt door. The manufacturer shall measure for doors on the site and installation shall be strictly to manufacturers specifications. The owner shall select the colour.

11.21 MAIN ENTRY DOOR

Provide and instal complete with a paint grade timber frame a 4 panel Greenpark TC808 Exterior grade door.

11.22 INTERIOR DOORS AND DOOR JAMBS

Interior doors shall be flush hollow core Paint Quality with clashing strip on one edge. Hang on 1.5 pair of AC loose pin butt hinges. Door frames shall be grooved MDF with MDF clashing strip.

11.23 ALUMINIUM JOINERY

All exterior window frames, sashes, door frames and doors shall be powdercoated aluminium, fixed in accordance with manufacturers specifications. Sizes are as shown on the plans. Liners to domestic quality windows and doors shall be 20mm Radiata grooved to take wall linings. All glazing shall comply with NZS 4223 Pt 3 1993. Provide all necessary flashings to ensure a completely watertight job. Units shall be complete with latches and quality locksets.

11.24 JOINERY UNITS

Kitchen units

Top only provided shall be Formica with rolled edge with single bowl and drainer insert. Units provided by Owner.

Vanity units

Top only provided. Units supplied by Owner

Laundry tub cabinet

Provide and install a MDF laundry cupboard with centre shelf. Plumber to supply tub.

11.25 CEILING ACCESS

Provide 18 mm MDF ceiling access panel 600 x 600 set into powder coated aluminium frame where shown on the plans.

11.26 WARDROBES

Provide 400 deep shelf of 18 mm MDF and 1 / 20 diameter galv pipe hanging rail. Wardrobe doors shall be aluminium sliders with MDF infil panels.

11.27 LINEN CUPBOARD

Provide five full depth shelves constructed with 18mm MDF board and supported on three sides with MDF rails.

11.28 HARDWARE

Door handles shall be Schlage Brass fittings.

Main entry door

Lockset

Interior doors

Latch sets

WC & bathroom doors

Latch set with privacy snib

11.29 FIREPLACE

Provide and install where shown on the plan a fireplace (Type to be selected by the owner). Fireplace shall comply with NZS 7401 1985 Specification for solid fuel burning domestic appliances. Installation shall be complete with

seismic restraints on tiled hearth, (tiles to be selected by owner) and shall comply with NZS 7421 1990 Specification for installation of solid fuel burning domestic appliances.

11.30 COMPLETION

On completion remove all debris from the site sweep all floors and generally leave the building clean and ready for occupation.

ROOFER Colortile

13.01 PRELIMINARY & GENERAL

Refer to Conditions of Contract and preliminary clauses of this specification which shall apply equally to this section.

13.02 SCOPE

Provide and install all roof coverings, valleys, ridges, barges, spouting, downpipes and any other associated flashings required to ensure a thoroughly watertight job. Colours shall be as selected by the owner.

13.03 MATERIALS

Colortile, shall be stored on site and fixed in accordance with the manufacturers specifications by a Manufacturer approved fixer. Battens shall be 50 x 40 where truss spacings are 900 cc and 50 x 50 where truss spacings are 1200 cc. Battens shall be laid over self supporting building paper. Ridges and hips shall be Mission profile.

Valleys - 0.55 Colorsteel G2z valleys shall be laid over building paper on 2/200 x 25 valley boards.

Ridges and barge flashings - shall be .55mm thick, edges shall be prepainted soft aluminium to be worked down into troughs. Flashings shall match the material used for the main roof.

Sealants - use only neutral cure silicone rubber sealants

Downpipes shall be PVC round pipes. Sizes shall be as shown on the plans.

13.04 HANDLING AND STORAGE

Colorsteel shall be stored in dry well ventilated conditions. Care shall be taken with handling to ensure coated surface is not damaged. Damaged materials shall be replaced at the contractors expense.

Colorsteel shall not be cut using abrasive discs.

At the completion of each days work thoroughly clean down all surfaces to remove all metal swarfing.

13.05 METAL FASCIA & GUTTER SYSTEMS

Provide and install Klass or similar external fascia gutter system as shown on the drawings. All work shall be carried out by an approved fixer to Manufacturers specifications.

13.06 COMPLETION

On completion clean down all surfaces and remove all debris from the site.

PLUMBING WORK

14.01 PRELIMINARY & GENERAL

Refer to conditions of contract and preliminary clauses of this specification which shall apply equally to this section. All work shall comply with the acceptable solutions as found in the NZBC approved documents.

14.02 GENERAL

All work is to be carried out by competent tradesmen registered as required by the plumbing and drainage regulations. All pipework shall be concealed where possible within the wall spaces. The main contractor shall fix all necessary dwangs and blocking. All work shall be carried out according to the best trade practices. Co-operate with all other trades for the laying of the pipework.

14.03 SCOPE

Provide and install all fittings as shown on plans complete with all associated pipework, valves, wastes, traps and wastepipes. Provide and fit spouting and downpipes in colorsteel. Test all fittings and pipework and ensure that there are no leaks and all are in good working order.

14.04 PIPEWORK

All water pipes shall be copper. All supplies to wet areas shall be 20mm with 15mm branches.

14.05 FITTINGS

WC	Vitreous china pans to be complete with Dux loline dual flushing systems and plastic seats
SINK	Kitchen sink shall be stainless steel within a stainless steel drainer installed in a Formica bench top, all supplied and fitted by others. Allow to provide waste traps, plug etc and to connect and leave in working order.
TUB	Allow to provide and install a pressed stainless steel laundry tub on cupboard provided by joiner.
HWC	Provide and install a 180 litre low pressure water heater installed with drain to exterior of building. Provide drain to exterior of building for water cylinder to discharge over gully trap. Installation shall be complete with seismic restraints to comply with NZBC G12 / AS1. Water cylinders shall be complete with water tempering valve set to maximum delivery temperature of 55 degrees C.
SUPPLY TANK	Provide 135 litre Nura polythene supply tank to low pressure water cylinder complete with seismic restraints to comply with NZBC G12 / AS1. See details at rear of specification for fixing of supply tanks to comply with NZBC G12 / AS1.
BATH	Bath shall be acrylic moulded installed to manufacturers specifications.
VANITY	Joiner shall provide vanity basin and cupboards. Allow to provide wastes, plugs and taps and to connect and leave in good working order connect and leave in good working order.
TAPS	Provide and install selected tapware. Provide brass hose taps around perimeter of the building, positions to be as selected by owner.

14.06 FLASHINGS

Provide and fix all necessary flashings, caps, silltrays, etc in conjunction with builder to ensure a thoroughly watertight job.

14.07 TESTING

Test all water pipes prior to wall linings being fixed and ensure all units are in working order on completion of work.

Figure 16: Seismic restraint of storage water heaters - less than 350 litres
Paragraph 4.10.3(b)

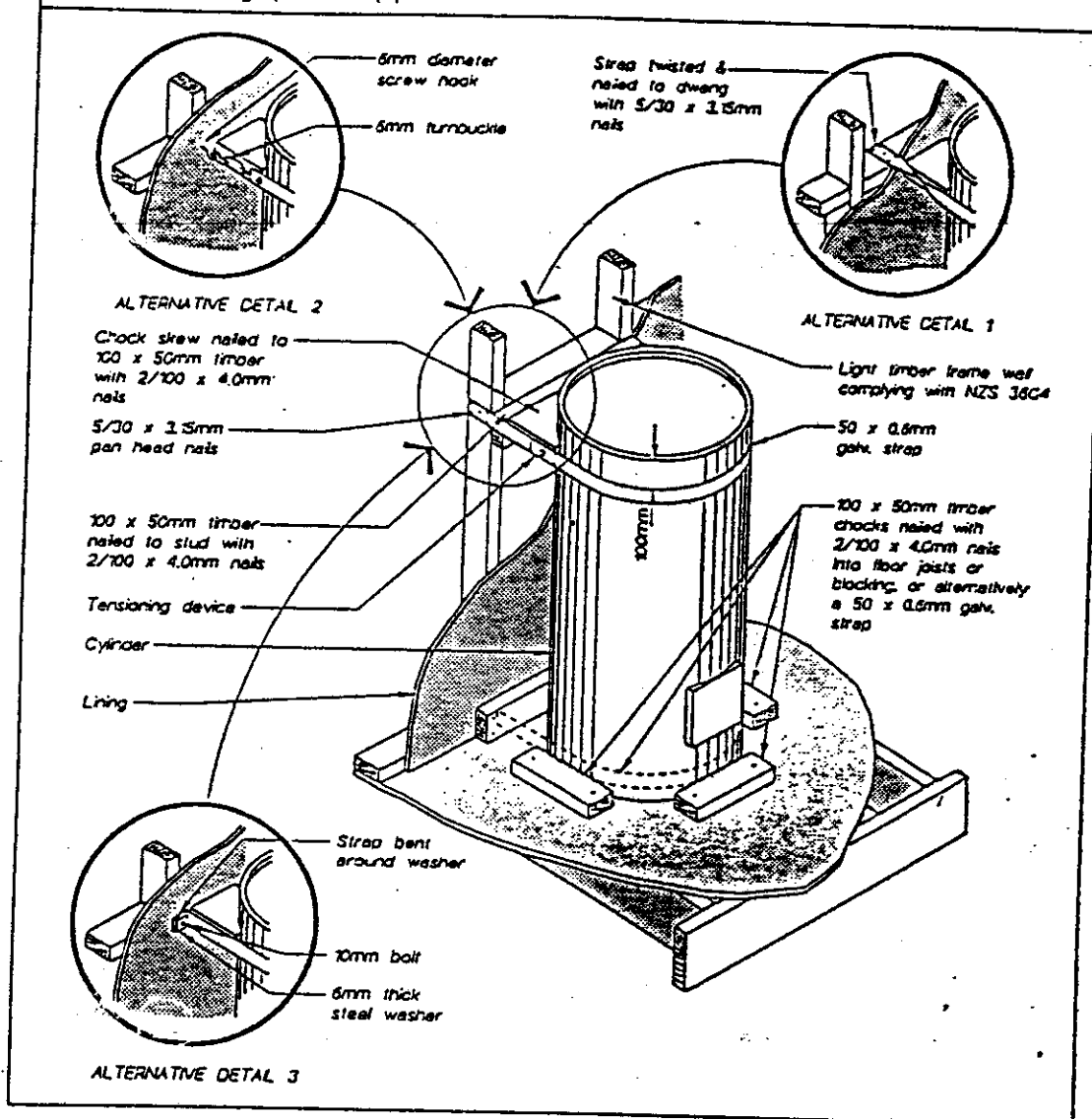
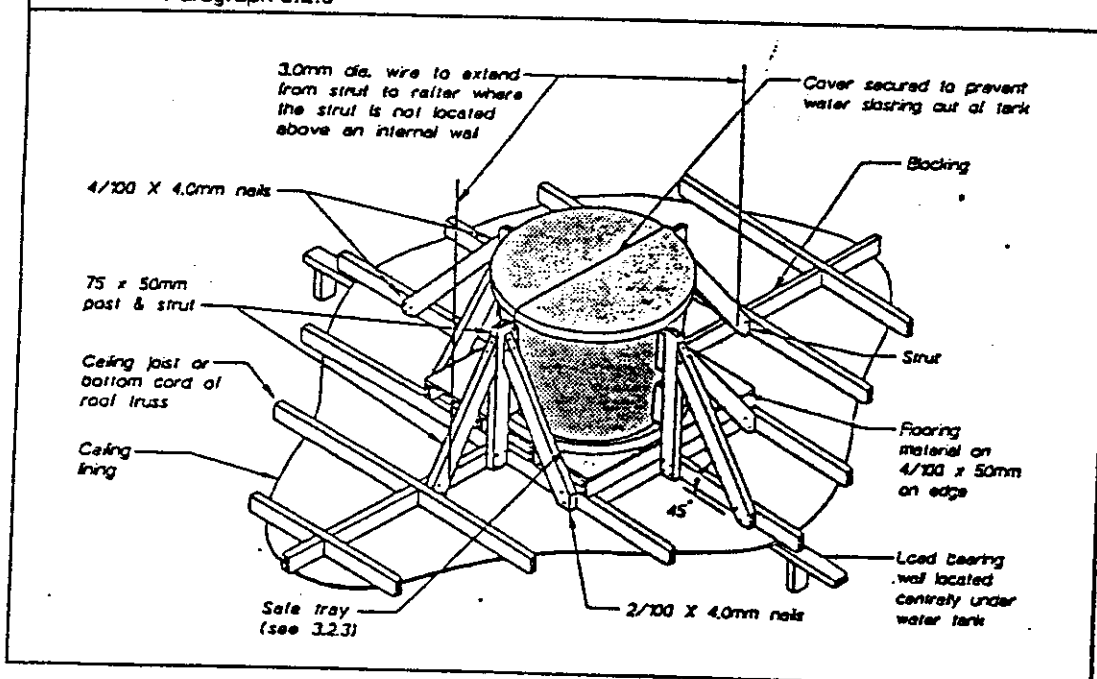


Figure 6: Structural support for water tanks
(200 litre maximum capacity)
Paragraph 3.2.6



DRAINAGE WORK

15.01 PRELIMINARY & GENERAL

Refer to conditions of contract and preliminary clauses of this specification which shall apply equally to this section.

15.02 SCOPE OF WORK

This section comprises the installation of the sewage and stormwater drainage systems as shown on the drawings, complete with all labour and materials as required.

15.03 REGULATIONS

All work shall comply with NZBC B2, E1/AS1 and G13/AS1 & AS2.

15.04 CONNECTION TO EXISTING DRAINAGE

The Drainlayer is responsible for verifying the position and depth of the connection and shall commence laying the drains from this point.

15.05 DRAIN TRENCHES

The excavation of trenches for drains shall be accurately made with base clear and true to grade so that no unnecessary filling is required. Adequate width shall be allowed in accordance with depth of drain to enable laying and jointing to be carried out. Trenches shall be kept firm and dry and shall be opened up only in lengths that can be protected, utilised and refilled within a reasonable time.

15.06 LAYING OF DRAINS

All drains shall be adequately supported in the bottom of the trench. Backfill in layers not exceeding 150 thick. If drains are to be encased in concrete, pre-wrap with densotape to allow for movement.

15.07 FITTINGS

The plan shows the layout of the system. Additional fittings that are normally required such as inspection bends etc that may be required to comply with normal practice or regulations but are not specifically shown must be allowed for by the Drainlayer.

15.08 FALL OF DRAINS

The whole of the soil and stormwater drains shall be laid to a regular and even fall.

15.09 INSPECTIONS

Provide notices as required for the Local Authority to make inspections required before drains are covered. Any work unsatisfactory to the inspector shall be rectified at the Contractors expense.

15.10 COMPLETION

Backfill all trenches, consolidate as filling proceeds and leave area in a tidy state.

ELECTRICAL WORK

16.01 PRELIMINARY & GENERAL

Refer to conditions of contract and preliminary clauses of this specification which shall apply equally to this section.

16.02 SCOPE OF WORK

The work comprises locating of the existing supply point, the running of an underground main to the building meter board and switchboard and for the installation of all lighting and power outlets as required by the owners plans including the provision of all labour and materials required to complete this work.

16.03 GENERAL

All work shall comply with NZBC G9, Electrical safety regulations and associated Codes of Practice. (Specifically NZECP51 and NZECP52).

16.04 FEES

Pay all fees and charges and obtain all necessary permits for this trade.

16.05 MATERIALS AND WORKMANSHIP

All materials used shall be to approved New Zealand standards. Allow for materials necessary to complete the Contract, whether specified or not. All work shall be carried out by a Registered Electrician holding a current practice license in accordance with the regulations and best trade practice and in a manner that will cause minimum inconvenience to other trades and the work as a whole. Do all cutting away, drilling etc and with timber, cut the minimum only for the entry of cables.

16.06 MAINS CABLE

Allow to visit the site and to determine the length of mains cable required to complete the work. The cable shall be of adequate size to meet the required loads.

16.07 MAIN CABLE

Provide and install a recessed switchboard complete with all necessary control equipment.

16.08 WIRING

Run new 2 and 3 core TPS cable for sub circuit wiring to lights, power outlets, switches and for installation of appliances shown on the plans. Run all speaker circuits television aerials and wiring shown for computers, fax machines, outdoor power etc. Provide all outlets as shown on the plan. Arrange for the provision and running of all telecom cabling as shown on the plan. Locate cable runs in centre of walls so that nailing or screwing of linings can be done without damaging cables. Holes made should be just sufficient in size to pull cables through - not adversely affect the strength of the framing.

Ensure wiring is to locations agreed with the owner without fouling installations by other trades, e.g. to required mounting height of switches and power outlets above floor level or above work tops and to required alignment of lights along and across ceilings.

16.09 INSPECT, TEST AND CERTIFY

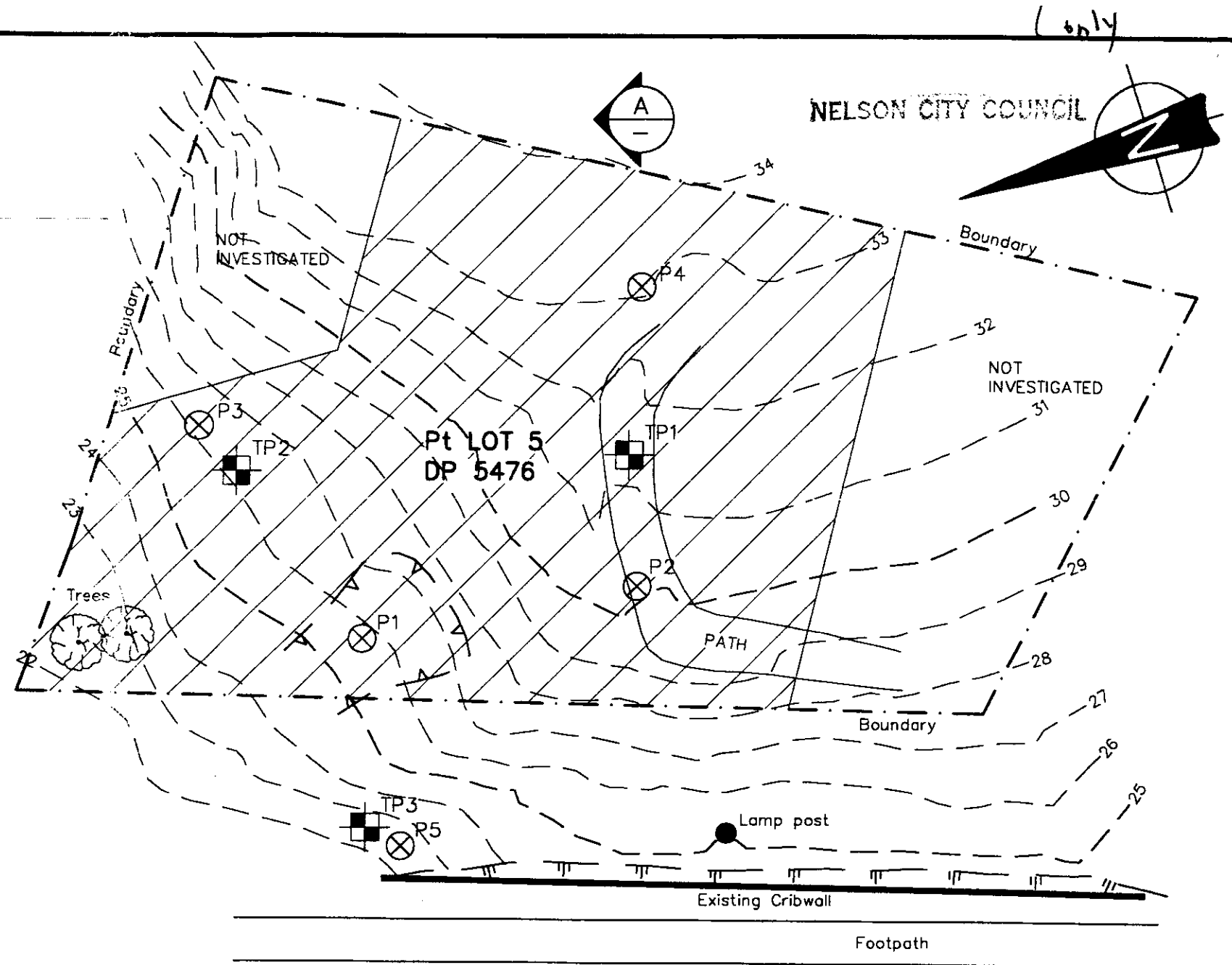
Inspect, test, certify and connect to mains when wiring and installation has been completed. Alternatively, if requested arrange independent testing and certification and give a copy of the Compliance Certificate (Energy Work Certificate) to the Owner to forward to the Territorial Authority. Note that the latter serves the purpose of a guarantee. Delay in issuing the Certificate shall delay final payment.

REVISION DESCRIPTION	BY	DATE
1 Scala P5 added Site address amended in title.	MF	6/98

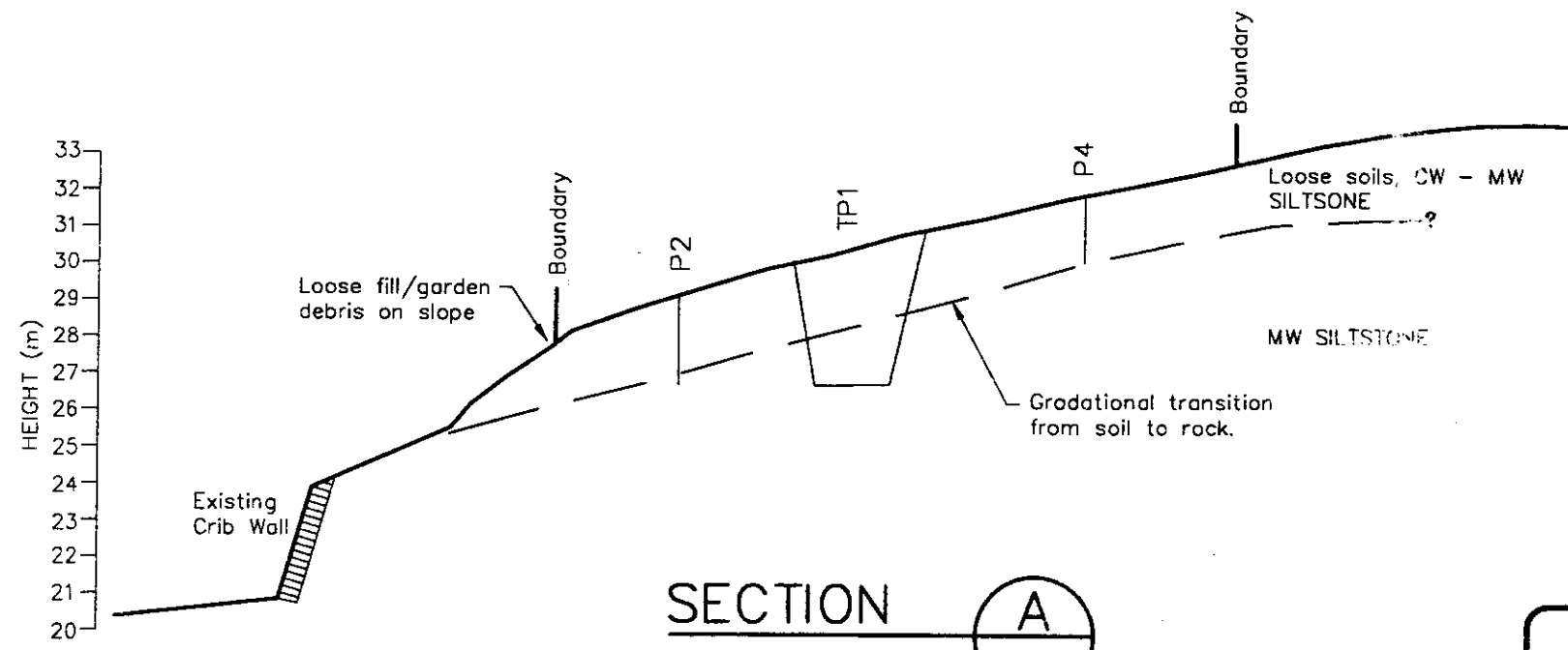
KEY

- TP1 Test Pit 1
- P1 Scala penetrometer
- Shallow Scarp
- Area suitable for Building (subject to conditions)

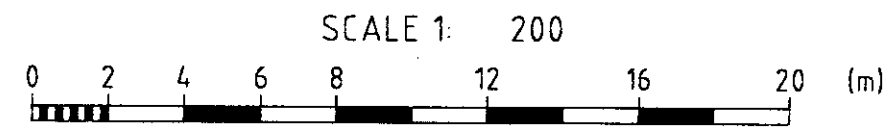
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Gourdie & Ward contour plan, untitled.



ANNESBROOK DRIVE
PLAN



SECTION
SCALE 1 : 200

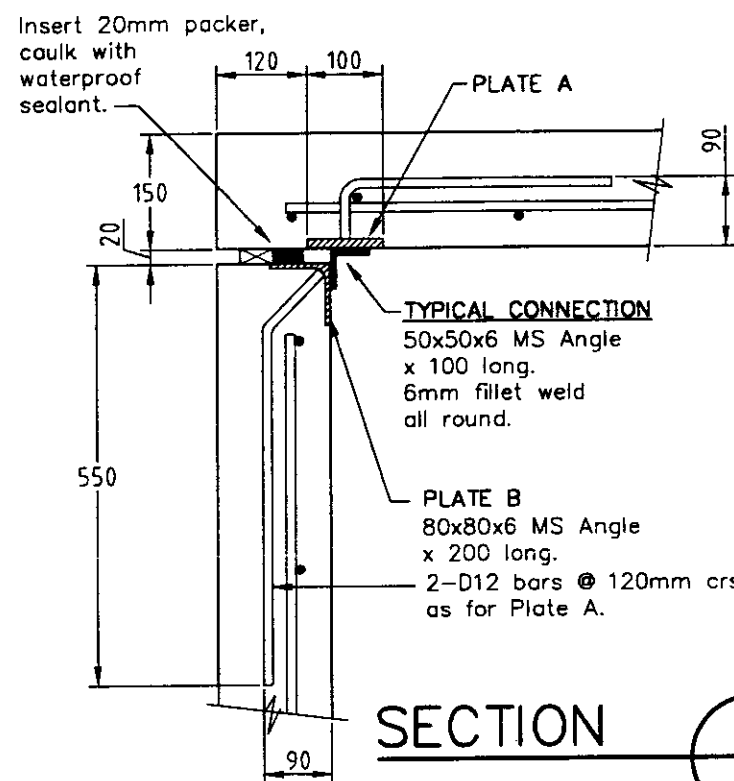


THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION PURPOSES

Mr S LUSCOMBE
 PROP. SUBDIVISION Pt LOT 1 DP5476
 209 ANNESBROOK DR, TAHUNA, NELSON
 Investigation Location Plan

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Cad File : 81041001		
DRAWN	DS	21/4/98
DWG. CHECKED	MF	1/7
APPROVED		
JOB No.	81041	SCALES (A3) 1:200
FIG. No.	FIG 1	REV. 1



SECTION A

SCALE 1 : 10

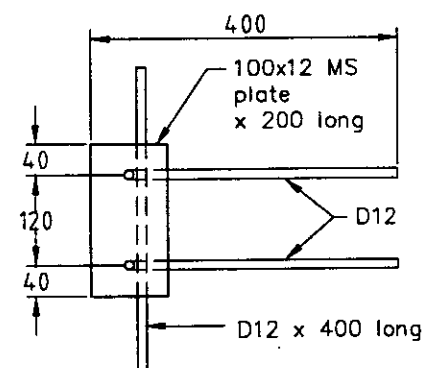
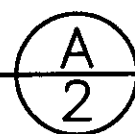
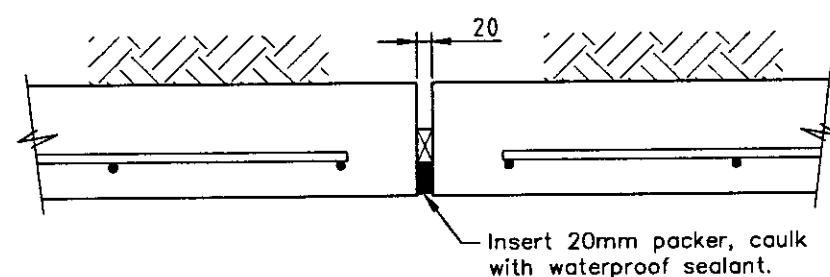
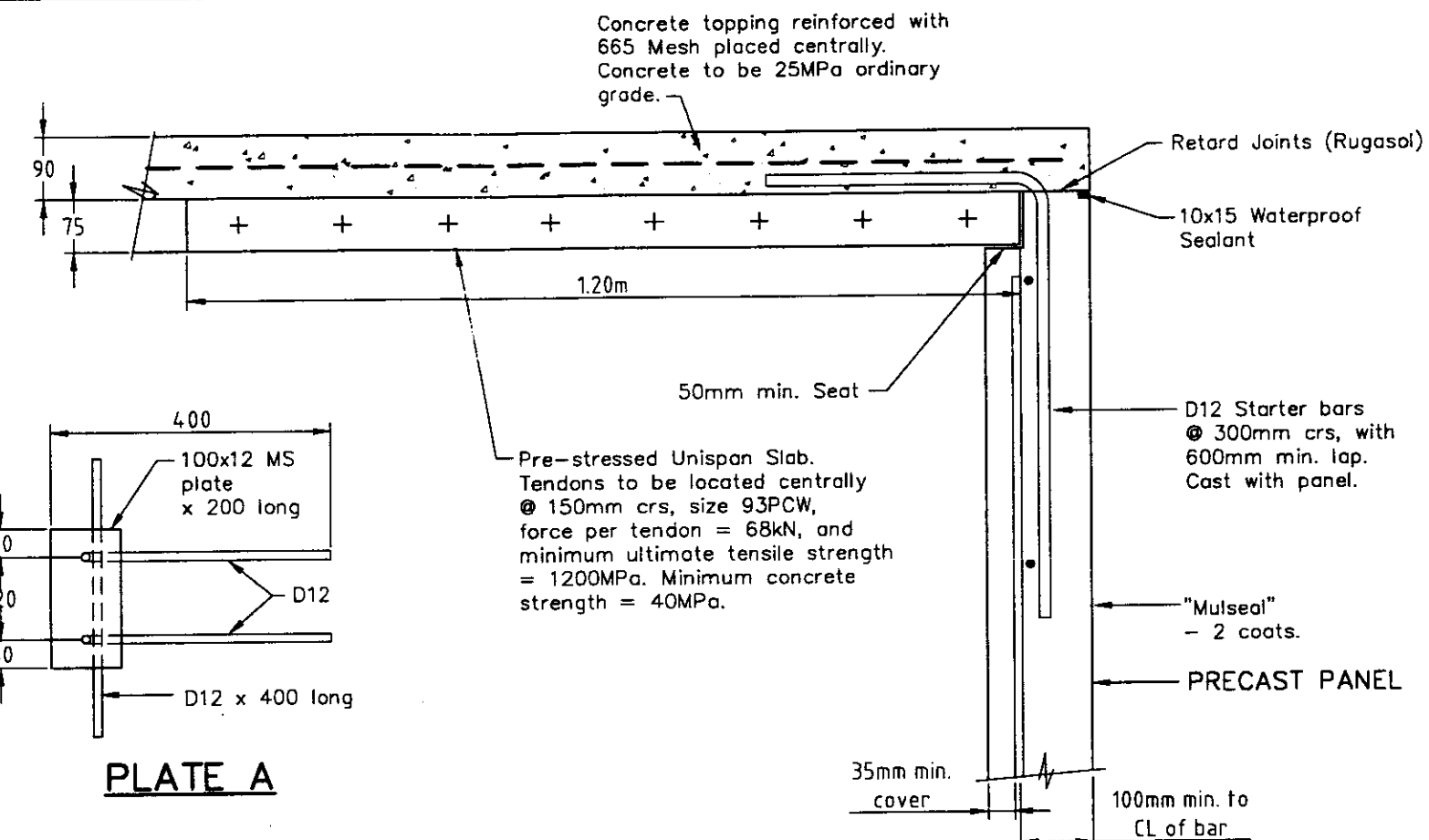
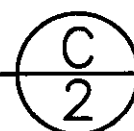


PLATE A

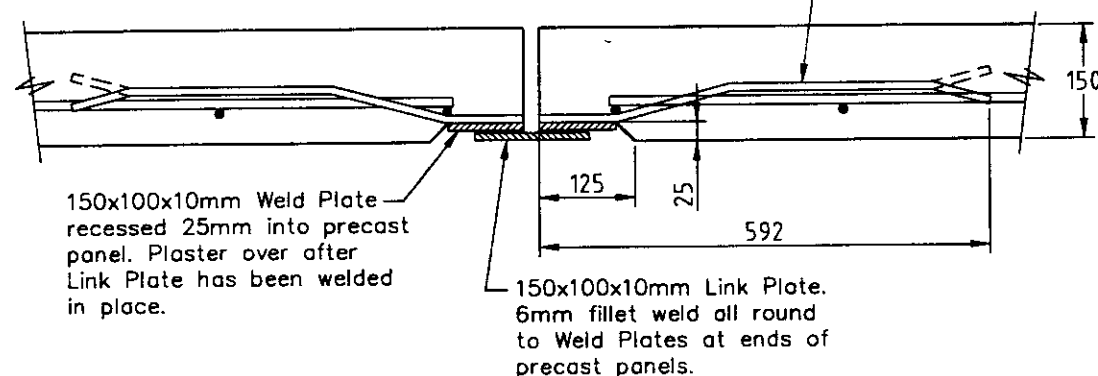


SECTION C

SCALE 1 : 10

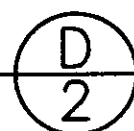


50x10 MS Strip x 600 long with 75 long fish tail at end. 6mm fillet weld all round to Weld Plate.

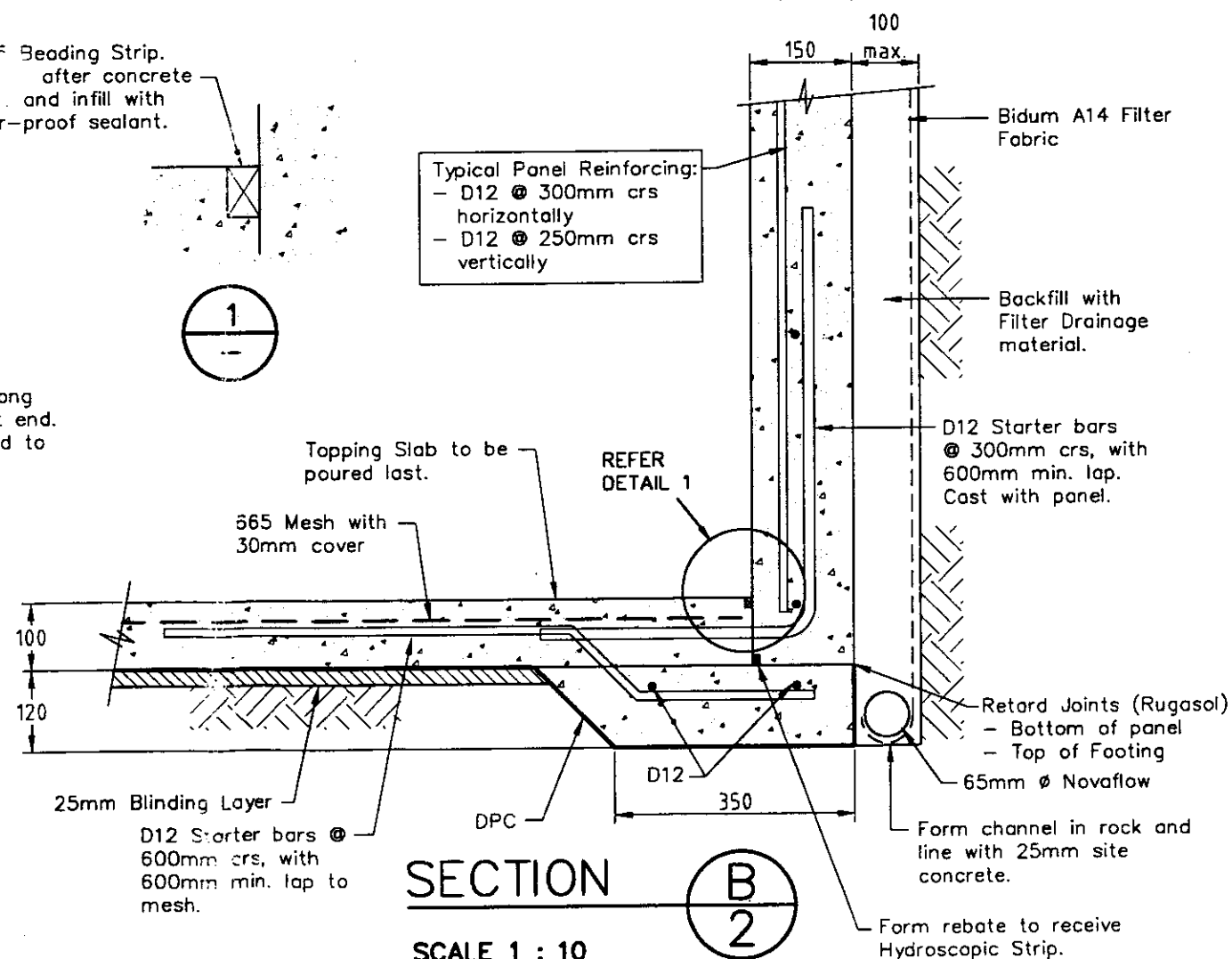
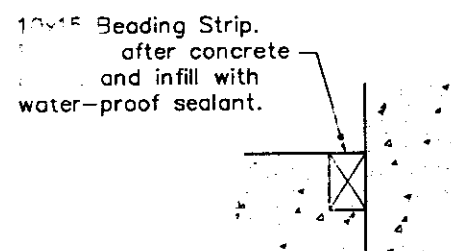


SECTION D

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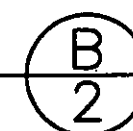


SCALE 1 : 10



SECTION B

SCALE 1 : 10



NOTES :
1. All dimensions are in millimetres U.N.O.

0 First Issue
REVISION DESCRIPTION
DESIGNED
DRAWN
DESIGN CHECKED
DRAFTING CHECKED
APPROVED :
NOT FOR CONSTRUCTION
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Mr S LUSCOMBE

NEW RESIDENCE

209 ANNESBROOK DRIVE
TAHUNA, NELSON

Precast Concrete Panels
Details

SCALES (AT A3 SIZE)

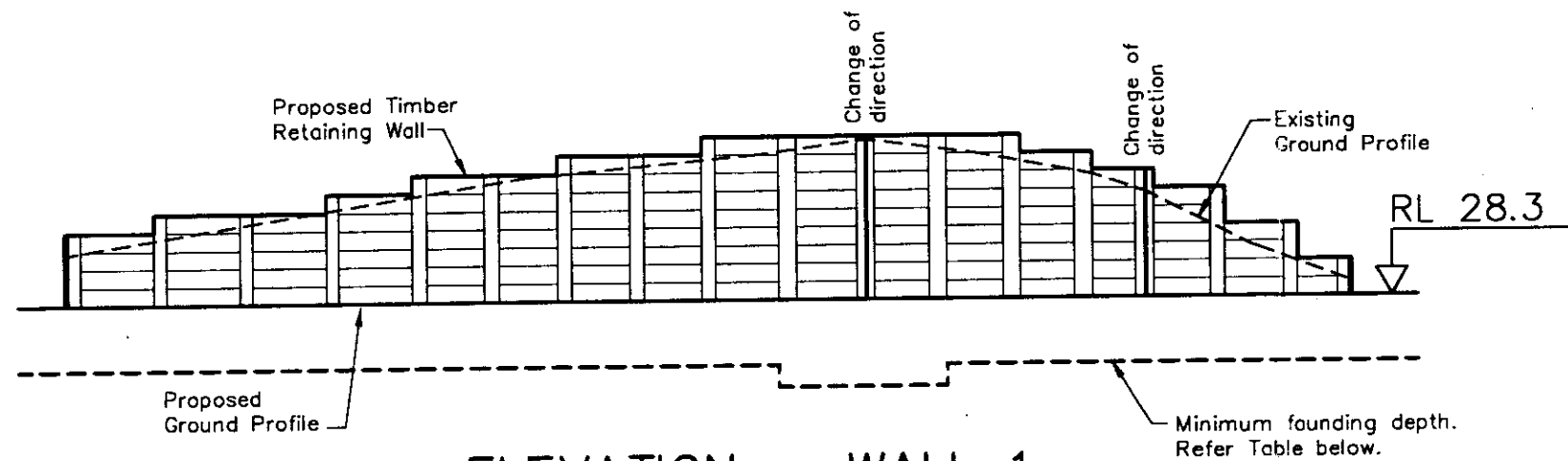
1:10

DWG. No.

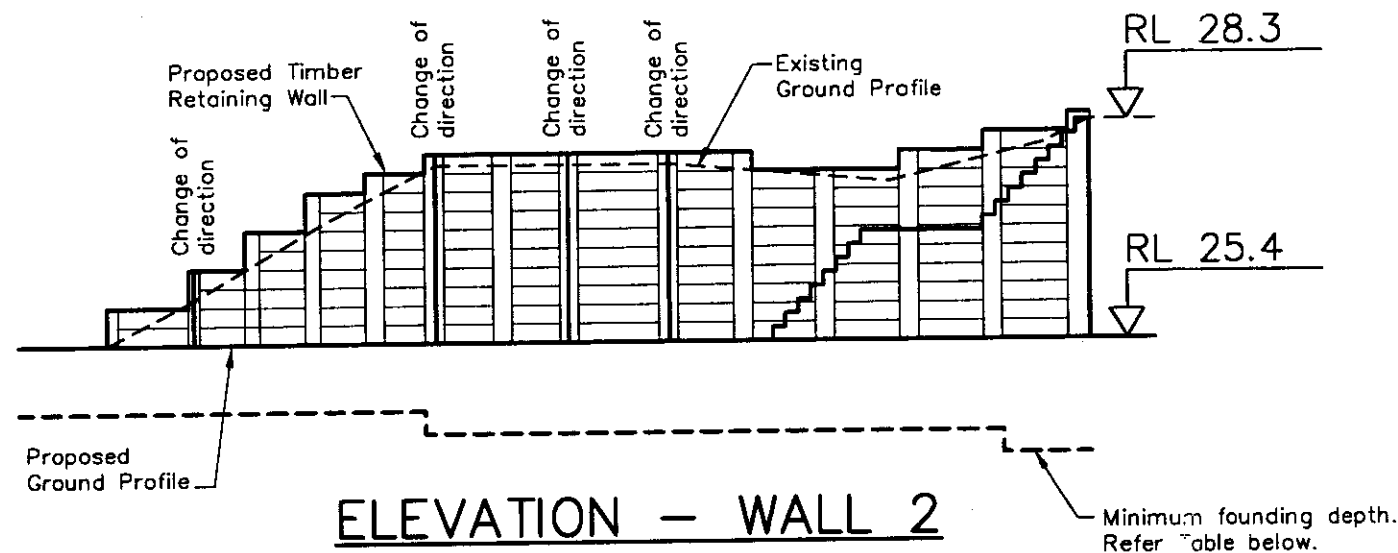
81041.04

REV.

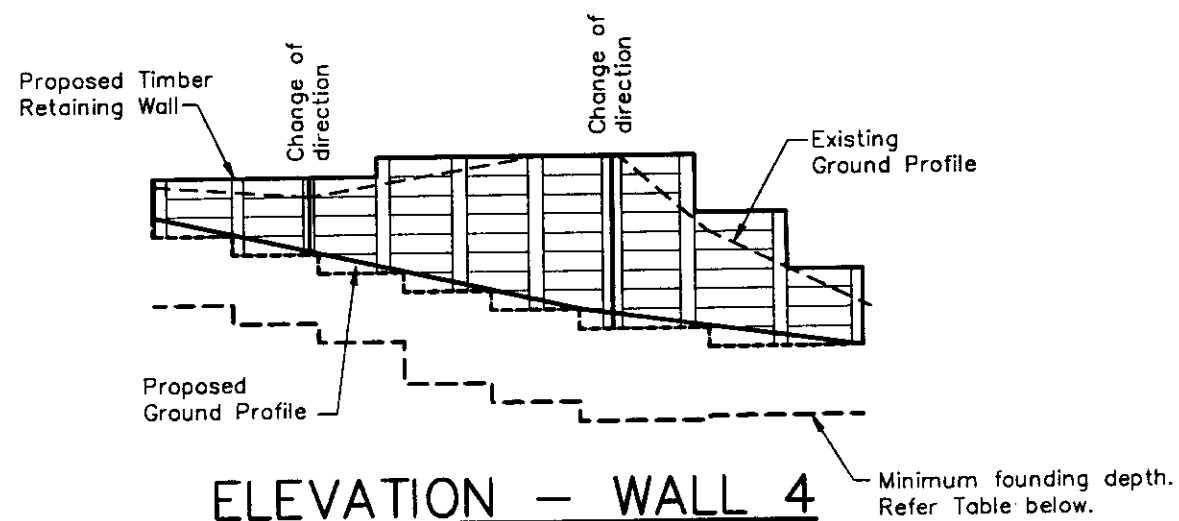
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ELEVATION - WALL 1

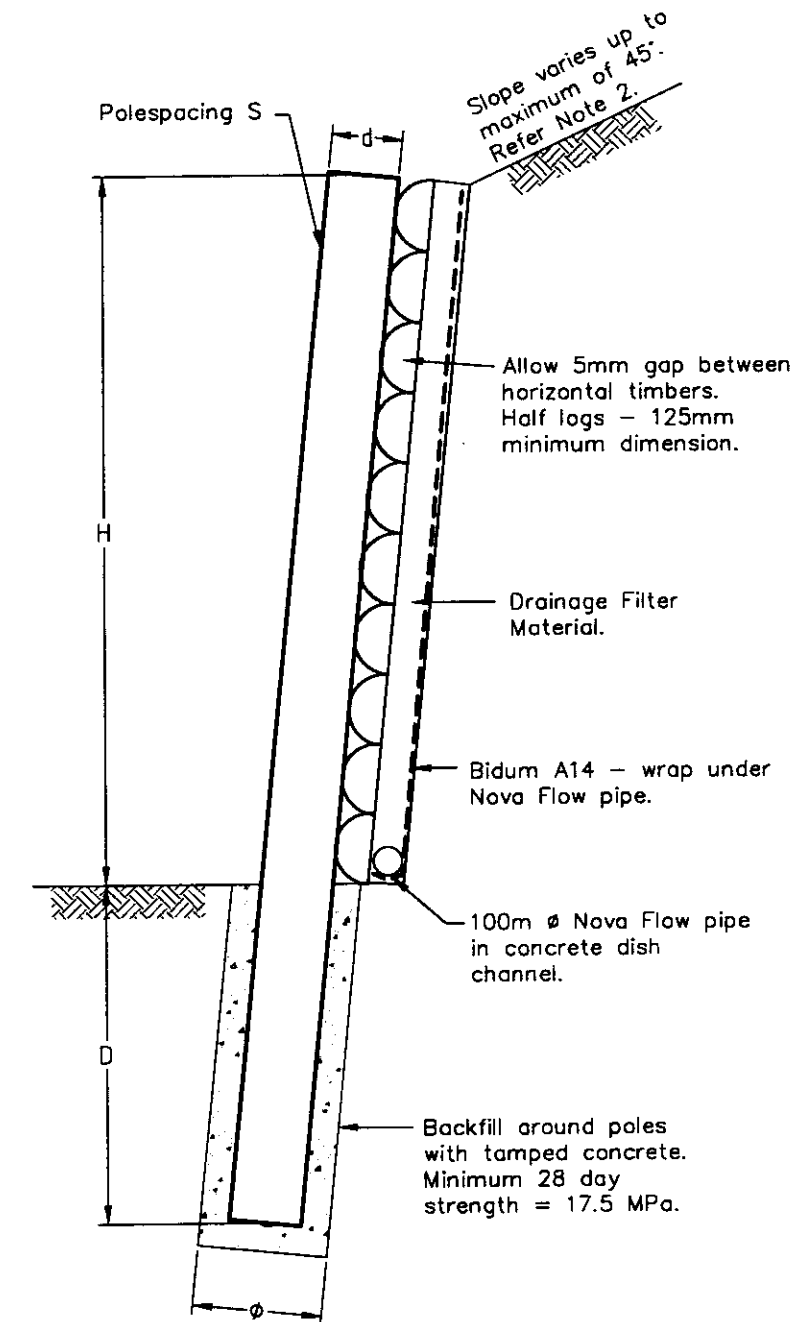


ELEVATION - WALL 2



ELEVATION - WALL 4

SCALE 1: 100



TYPICAL WALL SECTION

NOT TO SCALE

Max. H (m)	Min. D (m)	Min. d (mm)	Max. S (m)	Min. Ø (mm)
3.0	1.5	300	1.0	500
2.5	1.2	250	1.0	450
2.0	0.9	200	1.0	400
1.5	0.9	175	1.2	350
1.0	0.9	150	1.2	300

NOTES :

1. All dimensions are in millimetres U.N.O.
2. Engineer to inspect all cut faces to confirm design assumptions, prior to construction of wall.

0	First Issue		
REVISION DESCRIPTION	BY	DATE	
DESIGNED	RY	6/98	
DRAWN	OS	6/98	
DESIGN CHECKED			
DRAFTING CHECKED			
APPROVED :			
NOT FOR CONSTRUCTION			
This drawing is not to be used for construction purposes unless signed as approved			
COPYRIGHT ON THIS DRAWING IS RESERVED			
CAD FILE : 81041004			



TONKIN & TAYLOR LTD.

ENVIRONMENTAL & ENGINEERING CONSULTANTS

109 FEATHERSTON ST

WELLINGTON

AUCKLAND

HAMILTON

CHRISTCHURCH

WHANGAREI

Mr S LUSCOMBE

NEW RESIDENCE

209 ANNESBROOL DRIVE

TAHUNA, NELSON

Timber Retaining Wall

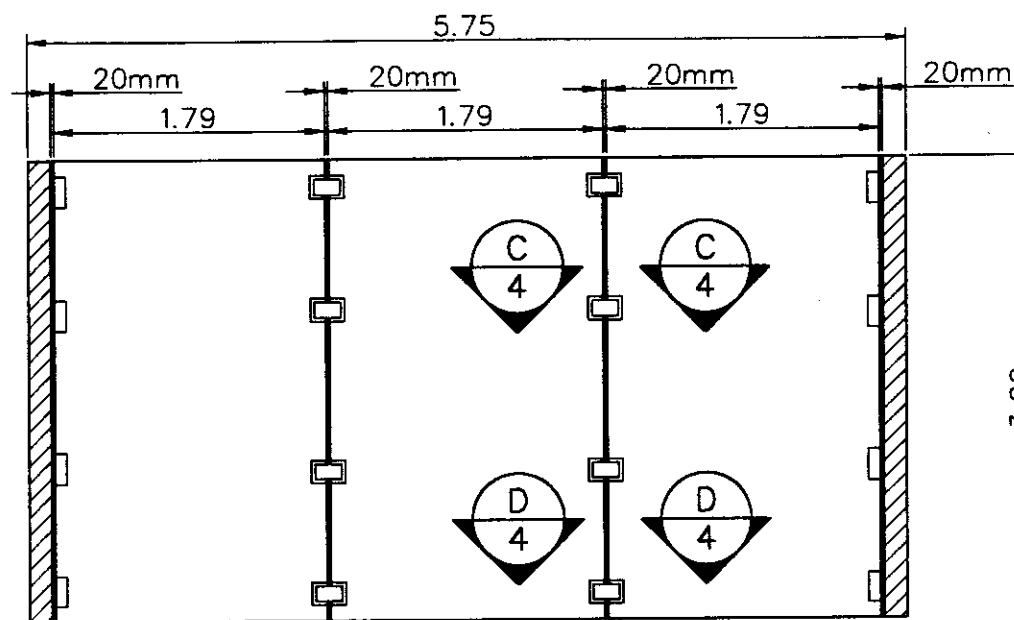
Elevations & Typical Detail

SCALE (AT A3 SIZE)

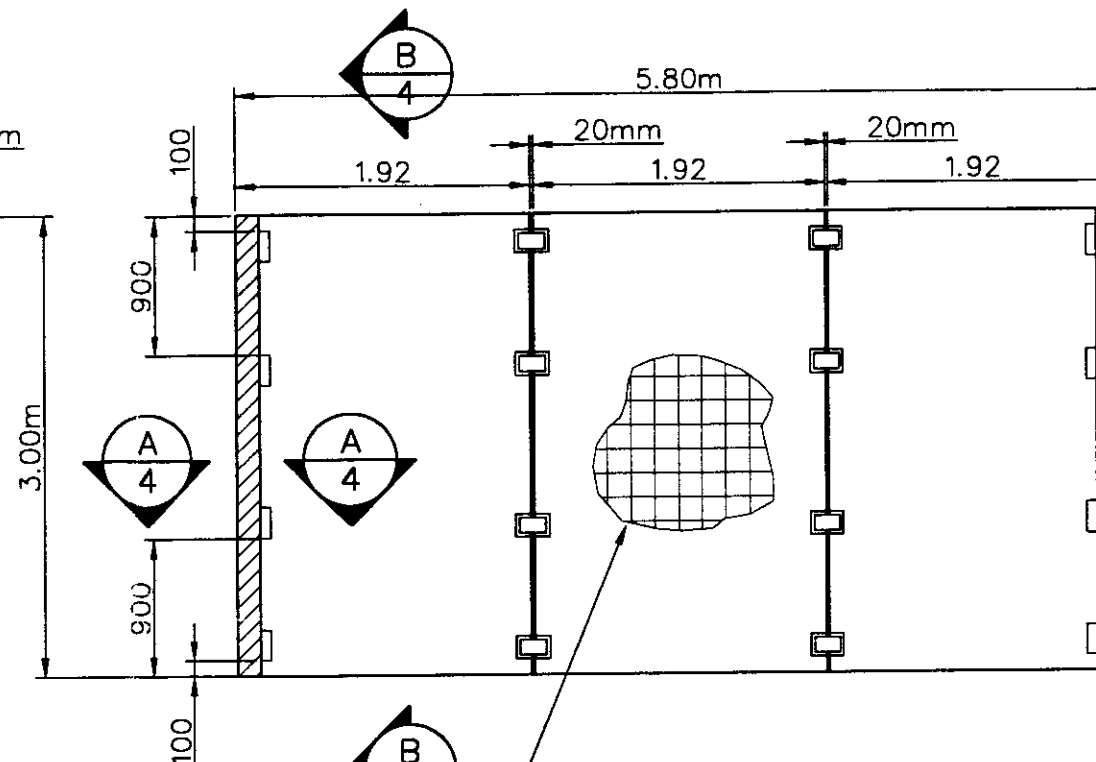
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DWG. No. 81041.03

REV. 0

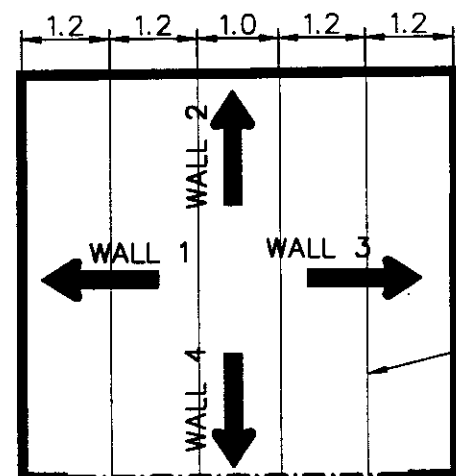


WALL 1 ELEVATION
WALL 3 ELEVATION

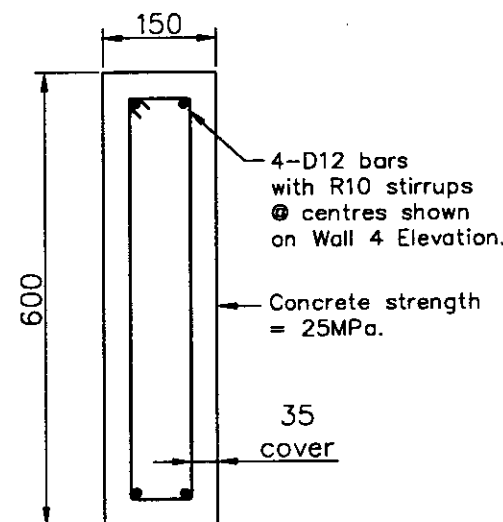


WALL 2 ELEVATION

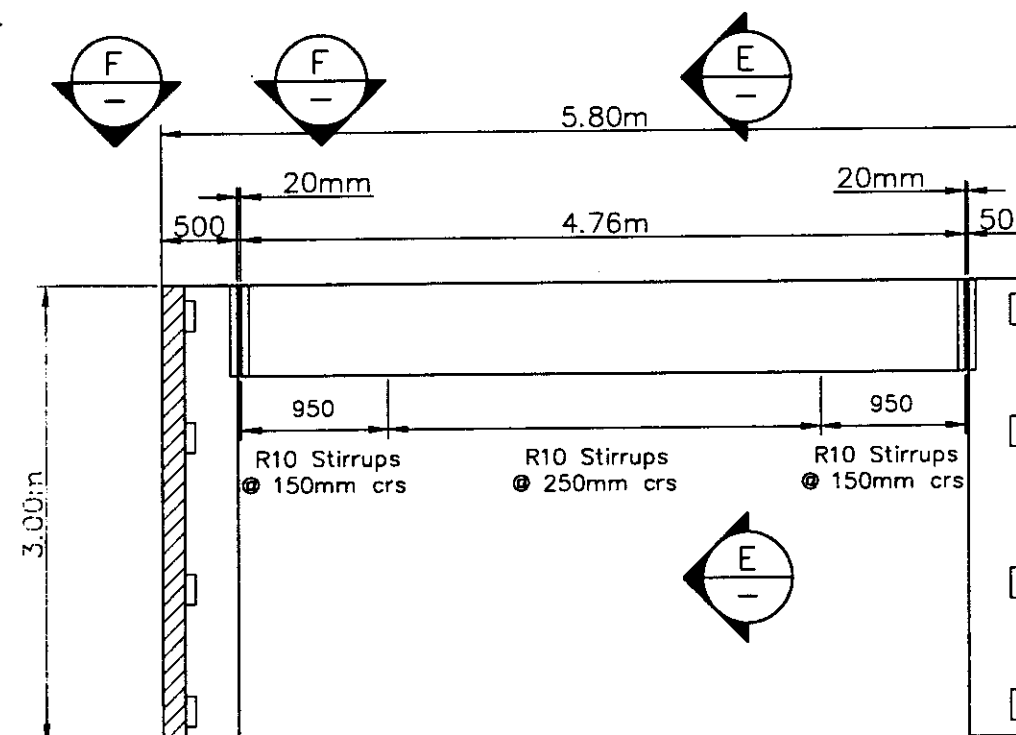
Typical Panel Reinforcing:
- D12 @ 300mm crs horizontally
- D12 @ 250mm crs vertically



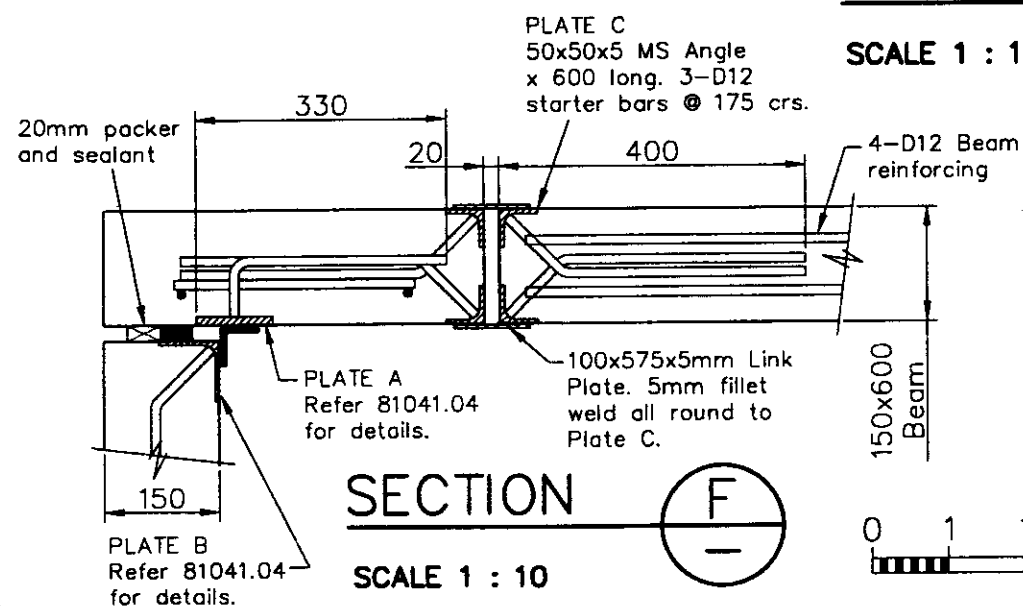
PLAN



SECTION E
SCALE 1 : 10



WALL 4 ELEVATION



SECTION F
SCALE 1 : 10

SCALE 1:50
0 1 1 2 2 3 4 5 (m)

NOTES :
1. All dimensions are in millimetres unless noted otherwise.

0 First Issue	BY	DATE
DESIGNED	RY	6/98
DRAWN	DS	6/98
DESIGN CHECKED		
DRAFTING CHECKED		
APPROVED :		
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CAD FILE : 81041003		



TONKIN & TAYLOR LTD.
ENVIRONMENTAL & ENGINEERING CONSULTANTS
AUCKLAND 19 MORGAN ST NEWMARKET
CHRISTCHURCH WELLINGTON
HAMILTON WHANGAREI

Mr S LUSCOMBE

NEW RESIDENCE

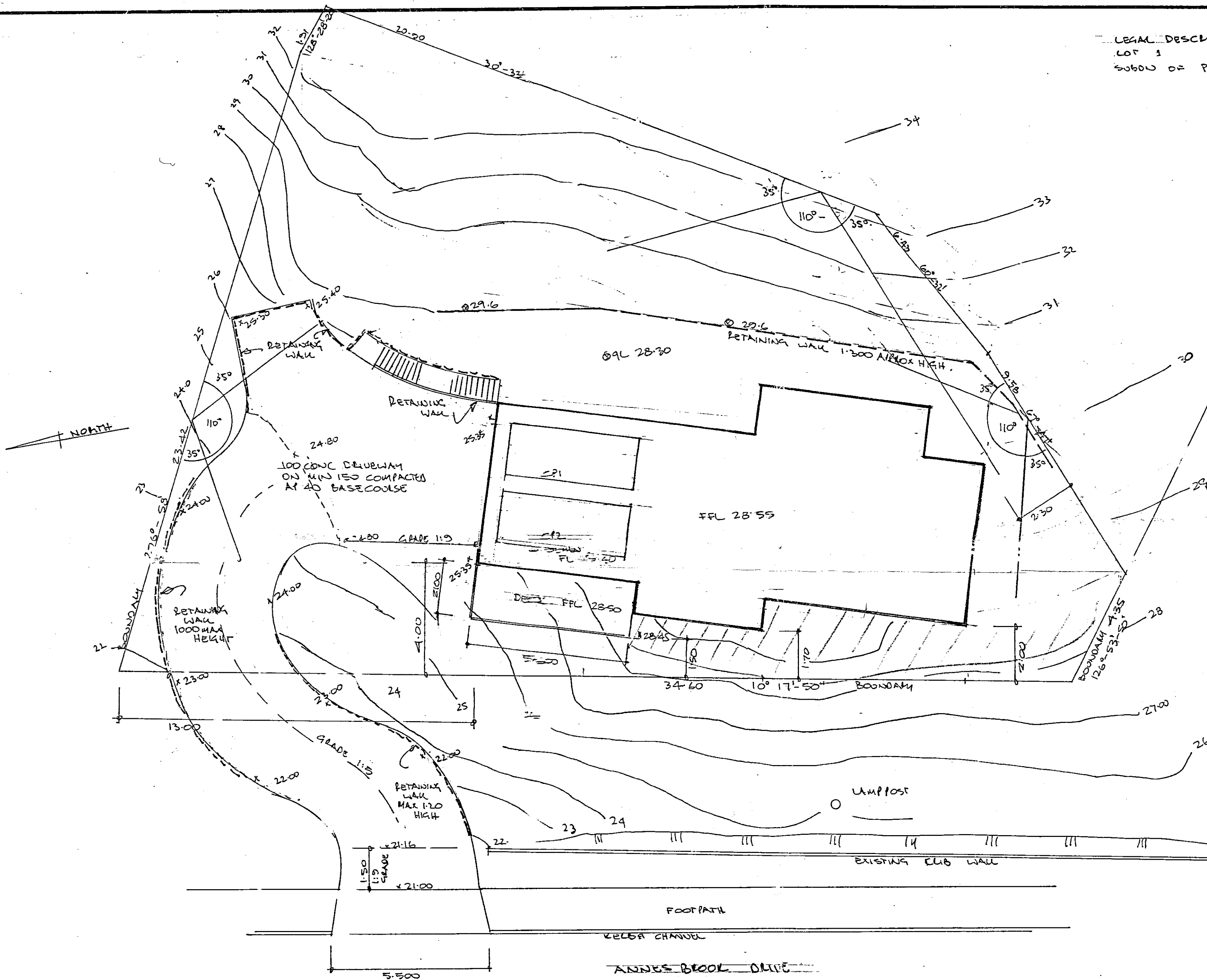
209 ANNESBROOK DRIVE
TAHUNA, NELSON

Precast Concrete Panels
Elevations

SCALES (AT A3 SIZE)

1:50
DWG. No. 81041.02
REV. 0

LEGAL DESCRIPTION
 LOT 1
 SUBDIV OF PT LOT 5 OF 3476



ZONE - RESIDENTIAL
 OVERLAYS - LAND MANAGEMENT

COVERAGE
 SITE AREA 595m²
 FLOOD AREA 119m²
 COVERAGE = 20.1%

COVERAGE OF 4.00 FRONT YARD
 YARD AREA 140m²
 BUILDING AREA IN YARD 23.44m²
 = 16.7% + 11.76m² (deck)
 = 25.1% 35.20m²

NOTE
 LEVELS ARE RELATIVE TO
 NELSON CITY DATUM.

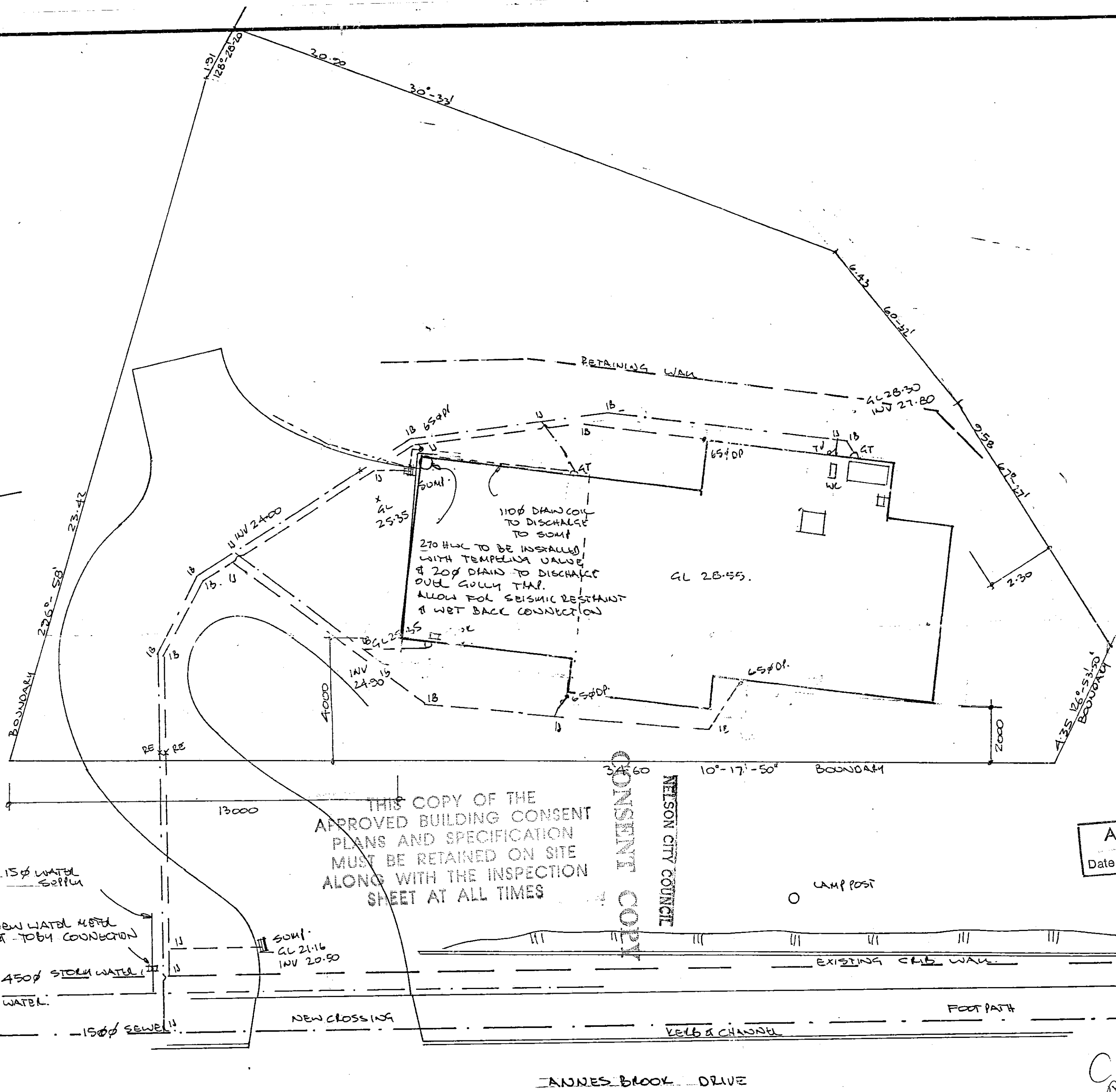
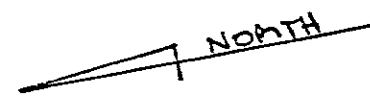
AMENDED PLAN
 RECEIVED 25-8-98
 APPROVED BY: A.C. Date 24/8/98
 P. Ross 26/8/98

AMENDED DECK ADDITION 18-8-98
 AMENDED 3-8-98

Allan Walters - draughtsman
 NZCD (arch), DANZ (reg), ANZIQS
 Phone (03) 541 8156 Wakefield

3 BEDROOM RESIDENCE
 AT 209 ANNESBROOK DRIVE - NELSON
 FOR EAS EDSCOMBE

SCALE 1:100	SITE PLAN	1
WALTERS	JUNE 98	1335



DOWN PIPE CALCULATION
ROOF AREA 150m²
ROOF PITCH 20°
MAX ROOF AREA PER 65mm
DI TO COMPLY WITH
NZBC 21/AS1 = 60m²
∴ D/S REQUIRED = 3.

THIS COPY OF THE
APPROVED BUILDING CONSENT
PLANS AND SPECIFICATION
MUST BE RETAINED ON SITE
ALONG WITH THE INSPECTION
SHEET AT ALL TIMES

CONSENT COPY

NELSON CITY COUNCIL

AMENDED
Date 11/8/98

AMENDED
Date

AMENDED
Date

RECEIVED
- 5 AUG 1998

18 AUG 1998

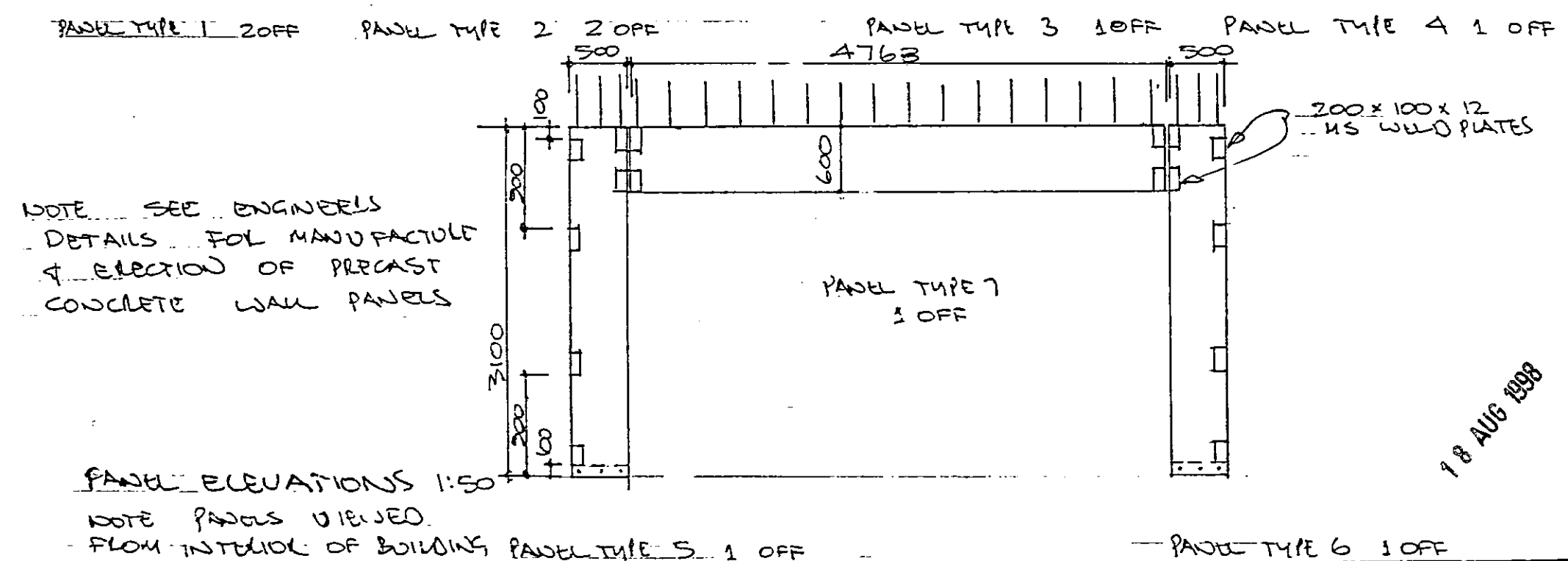
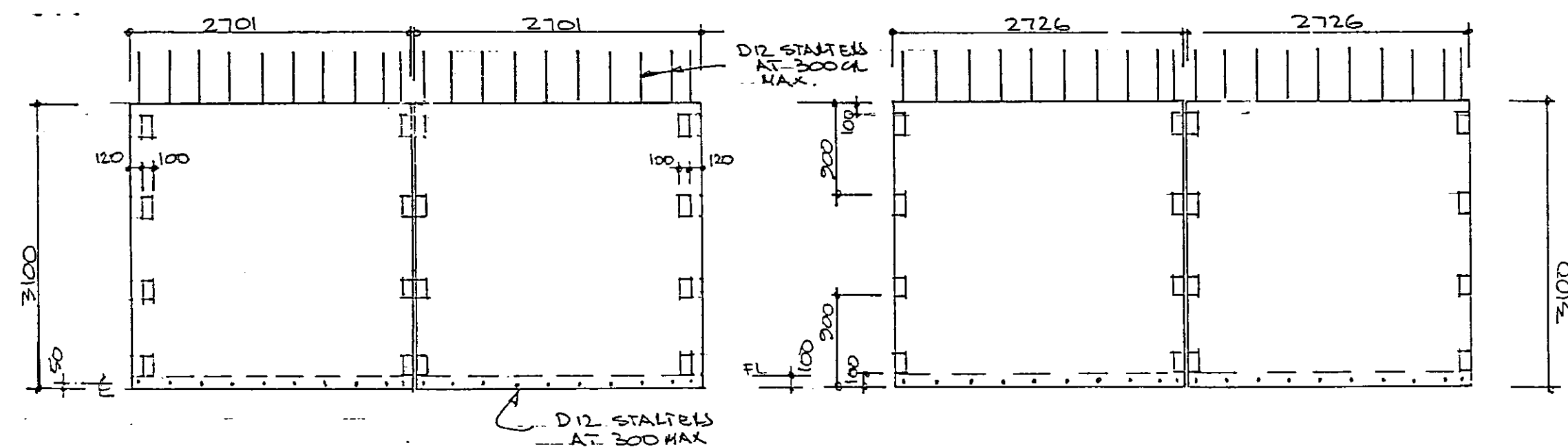
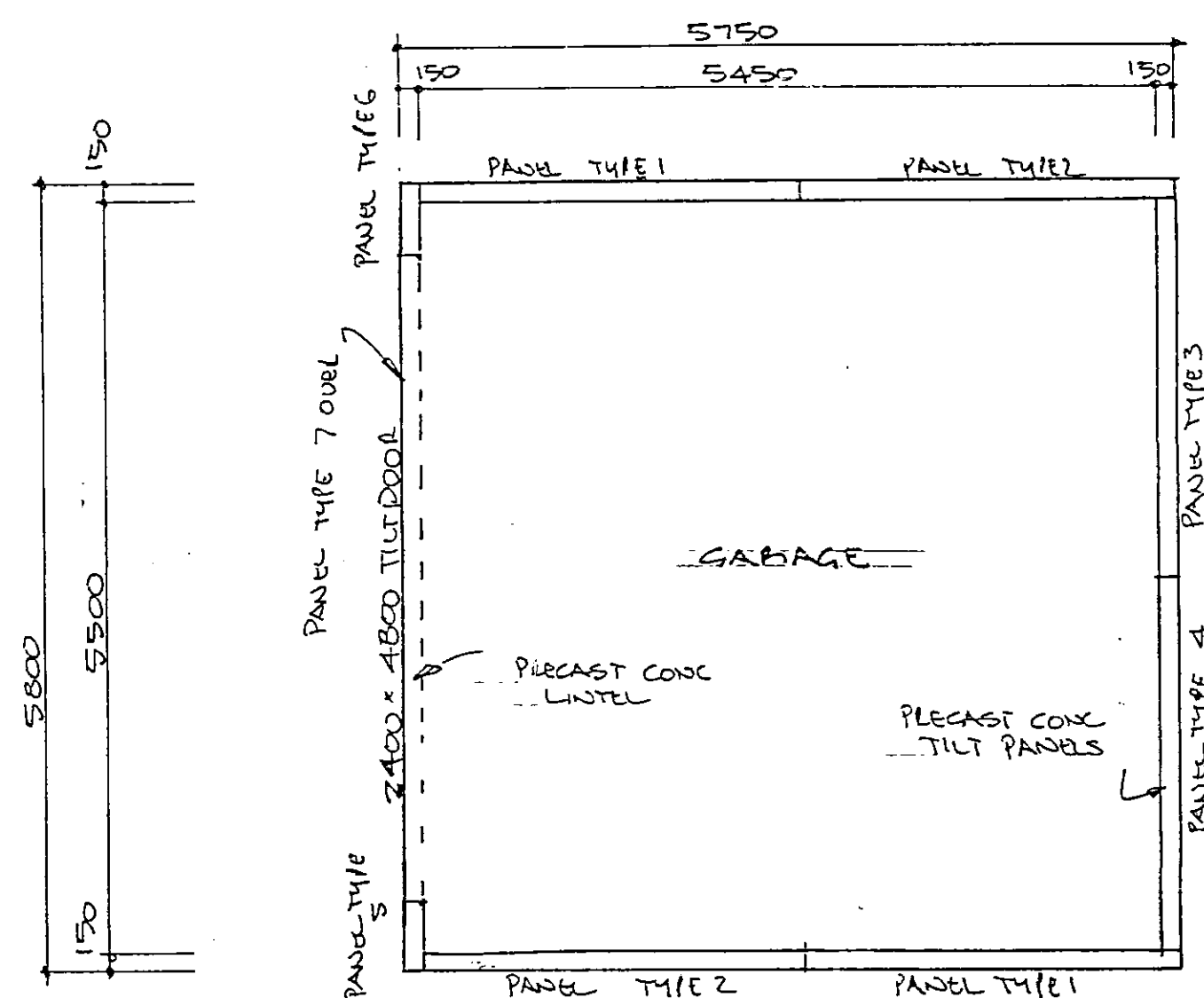
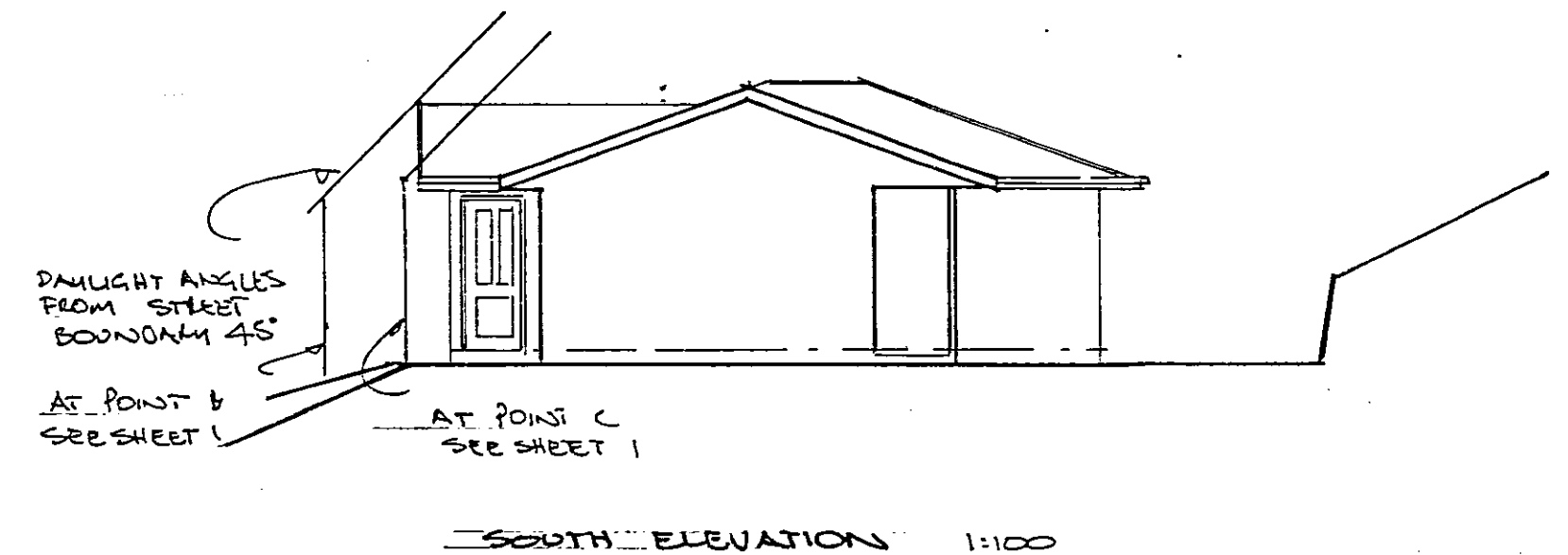
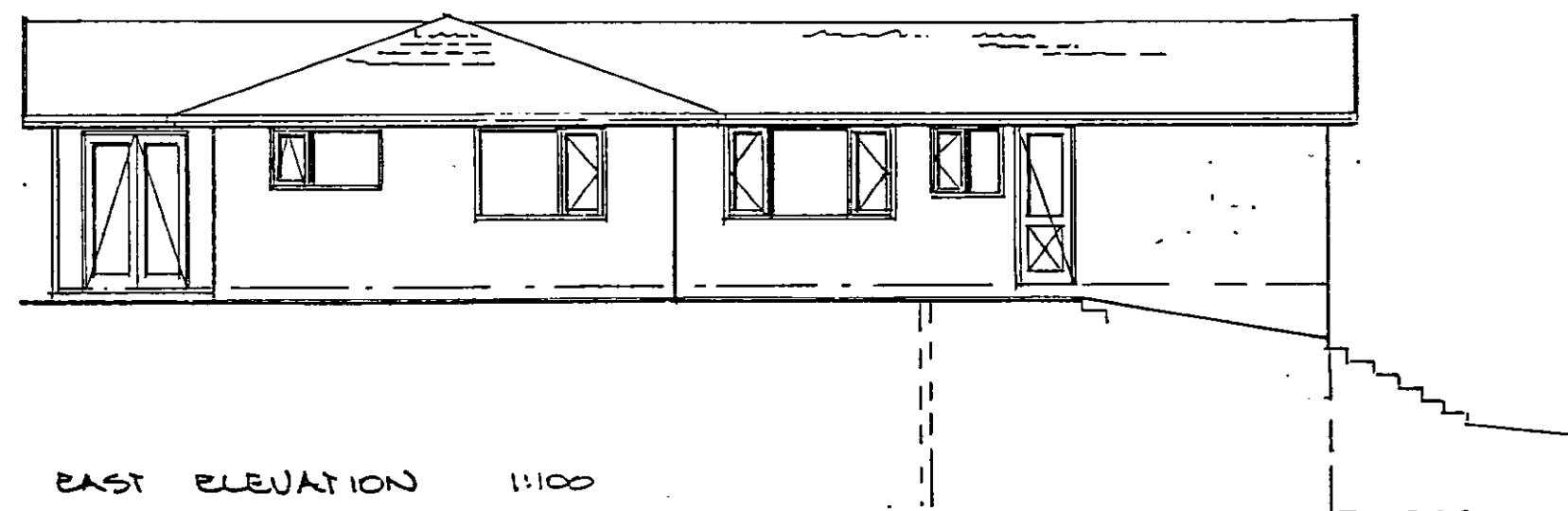
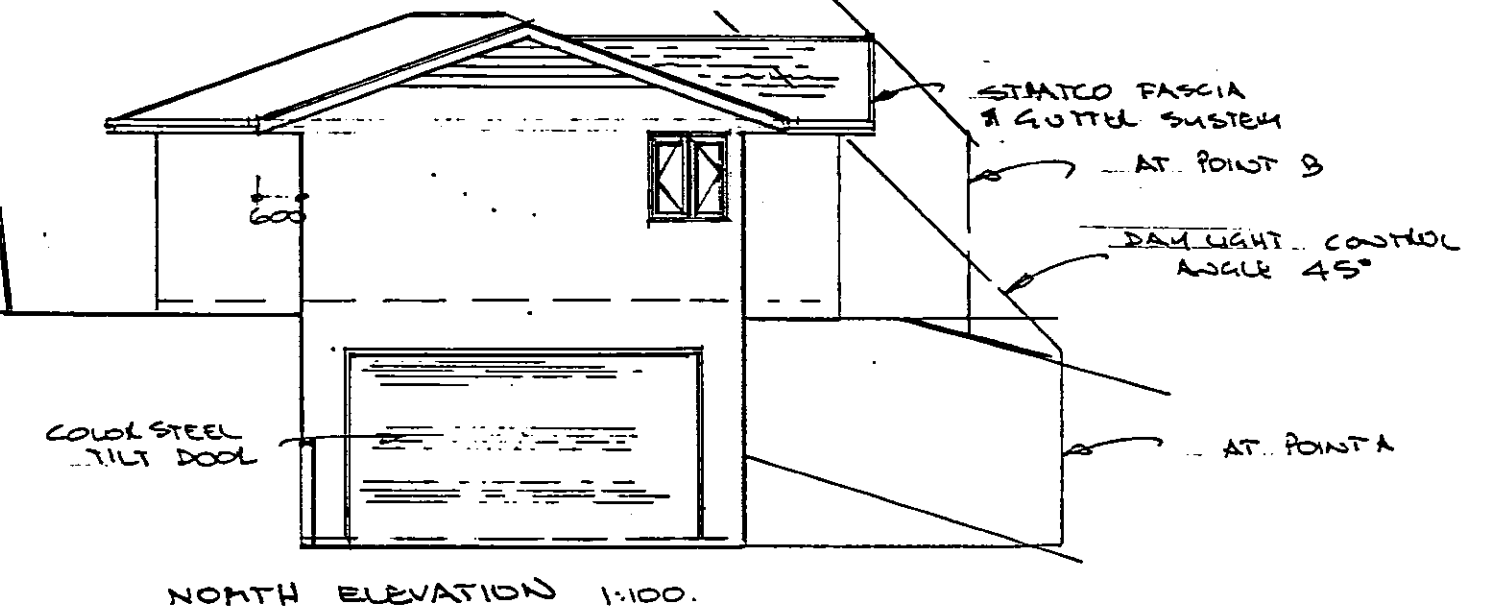
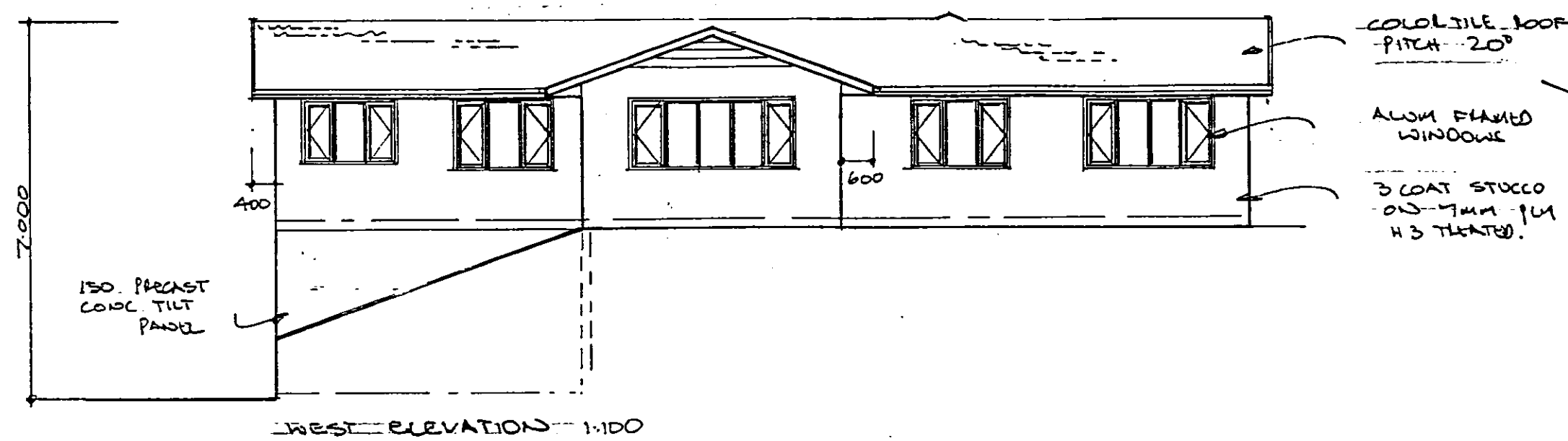
CORRECT
BOUNDARY DIMENSIONS
AMENDED 3828

Allan Walters - draughtsman
NZCD (arch), DANZ (reg), ANZIQS
Phone (03) 541 8156 Wakefield

3 BEDROOM RESIDENCE
AT 209 ANNESBROOK DRIVE - NELSON
FOR E.S. LUSCOMBE

SCALE 1:100	DRAWING PLAN	2
WALTERS	JUNE 98	1335

YOUR ATTENTION IS DRAWN TO
G.12 AS1 5.4
SECTION FROM FROSTS
WATER SUPPLY TO COMPLY
WITH NELSON CITY COUNCIL
WATER CONNECTION POLICY



18 AUG 1998



Allan Walters - draughtsman
NZCD (arch), DANZ (reg), ANZIOS
Phone (03) 541 8156 Wakefield

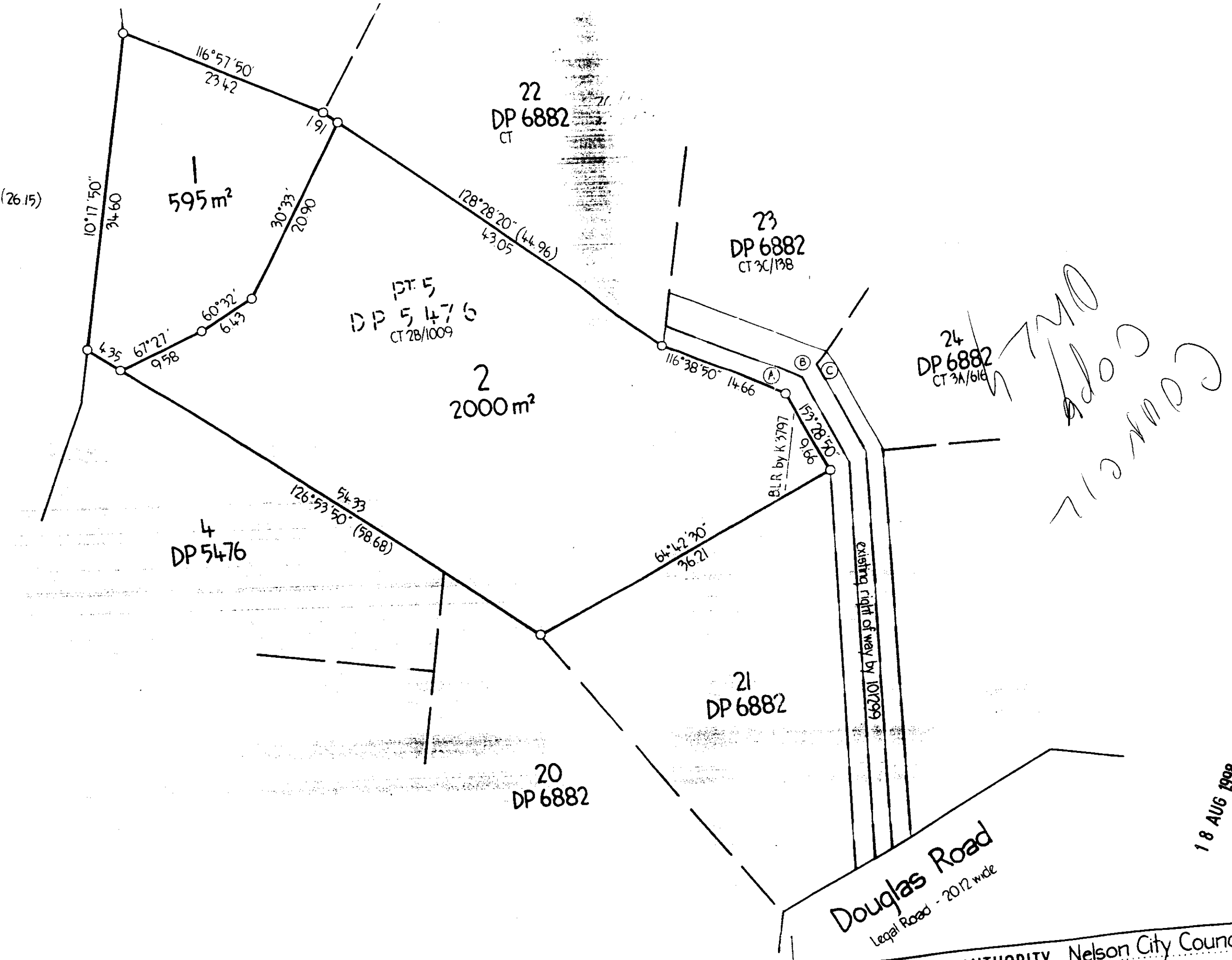
3 BEDROOM RESIDENCE
AT 200 ANNESBROOK DRIVE - NELSON
FOR E & S LUSCOMBE

AS SHOWN

ELEVATIONS
BASEMENT PLAN

4

WALTERS JUNE 78 1335



New Certificates of Title Allocated
 Lot 1
 Lot 2
 Total Area 2595 m²
 Comprised in CT 2B/1009 (All)

Hugh Gourdie of Nelson,
 Registered Surveyor and holder of an appointment under the Survey Act 1986 hereby certify that this survey executed by me or under my direction is correct and has been made in accordance with the Regulations 1972 or any regulations made thereunder.
 Dated at this of 19 Si

Field Book 2869 p. 31 Travers
 Reference Plans
 Examined Cor

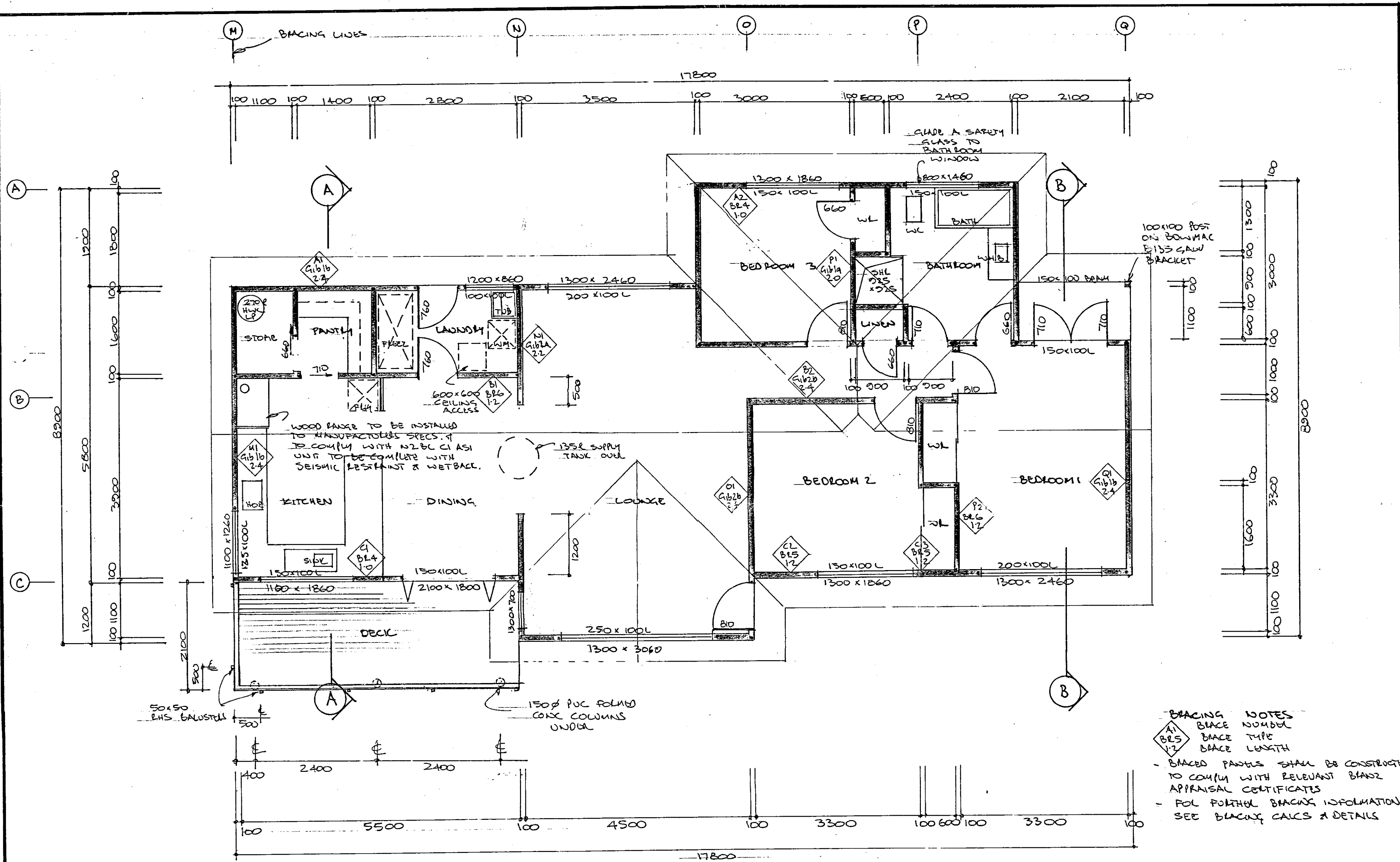
Approved as to Survey
 Deposited this day

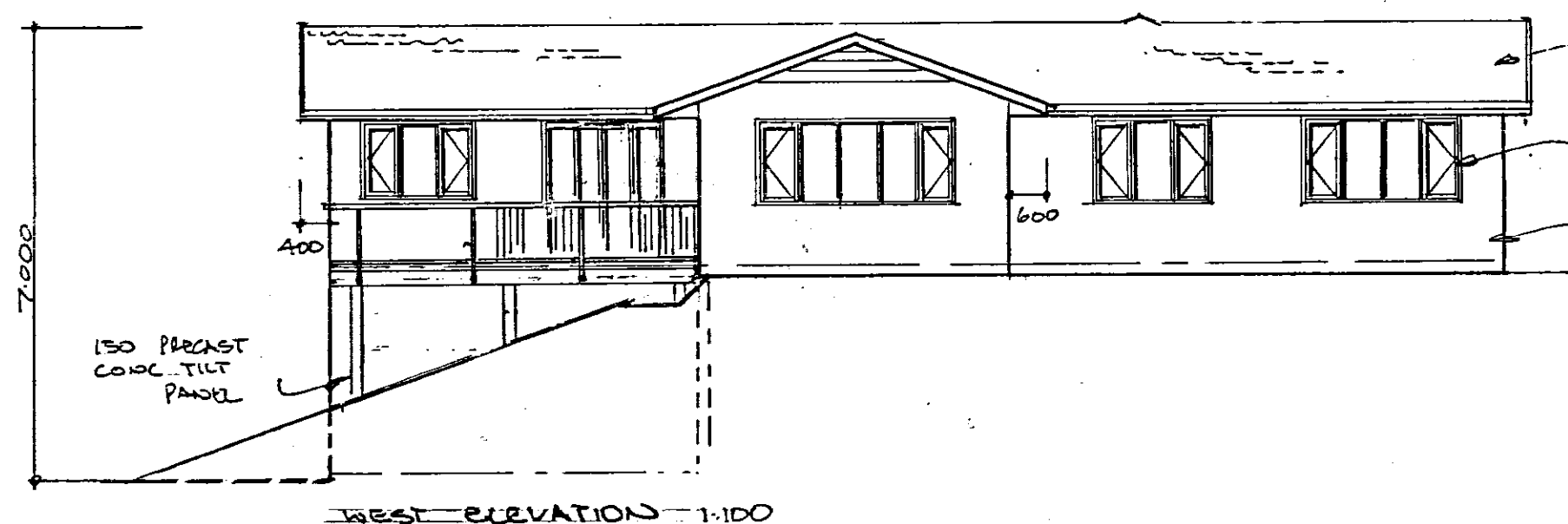
File
 Received Instructions 98513
 final plan

TERRITORIAL AUTHORITY Nelson City Council
 Surveyed by Gourdie & Ward Ltd. 6270
 Scale 1:400 Date June 1998

1 & 2 being subdivision of PT Lot 5 DP 5476

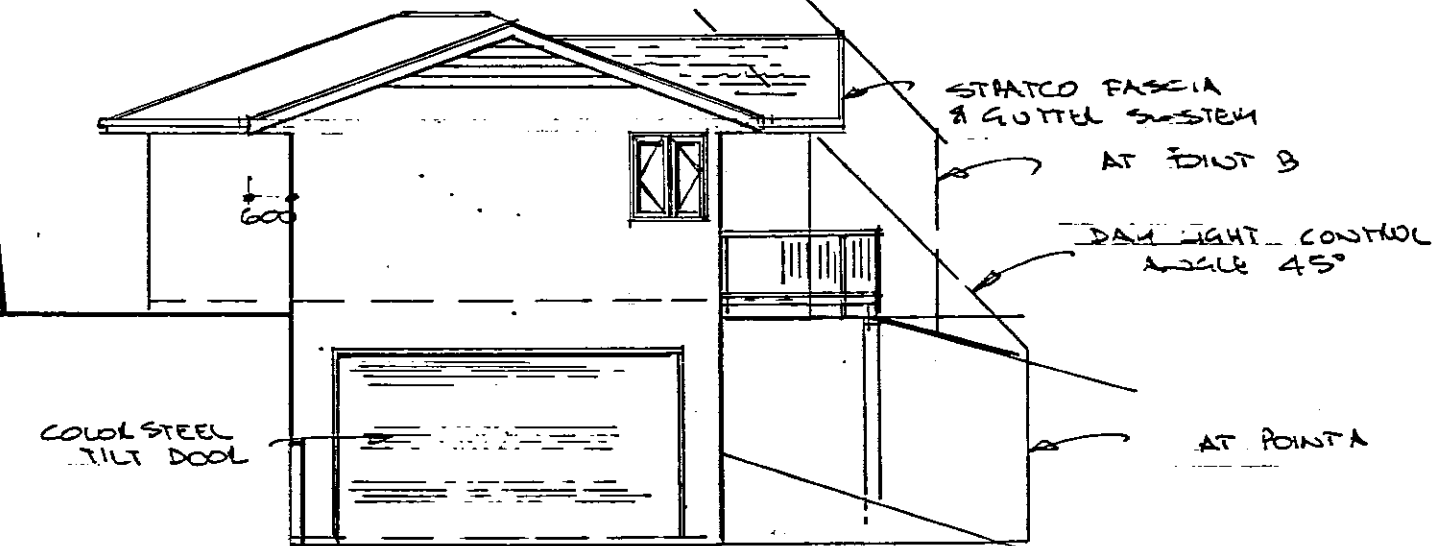
18 AUG 1998



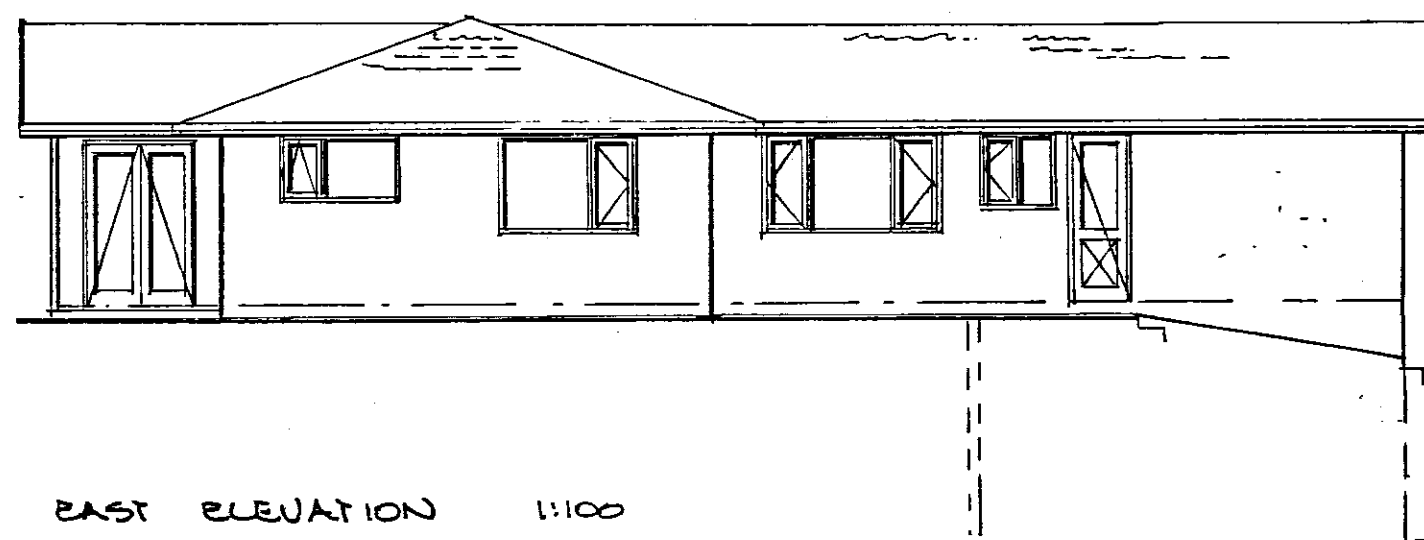


WEST ELEVATION 1:100

COLOR TILE ROOF
PITCH 20°
ALUM. FRAMED
WINDOWS
3 COAT STUCCO
ON 7mm PU
H3 TREATED



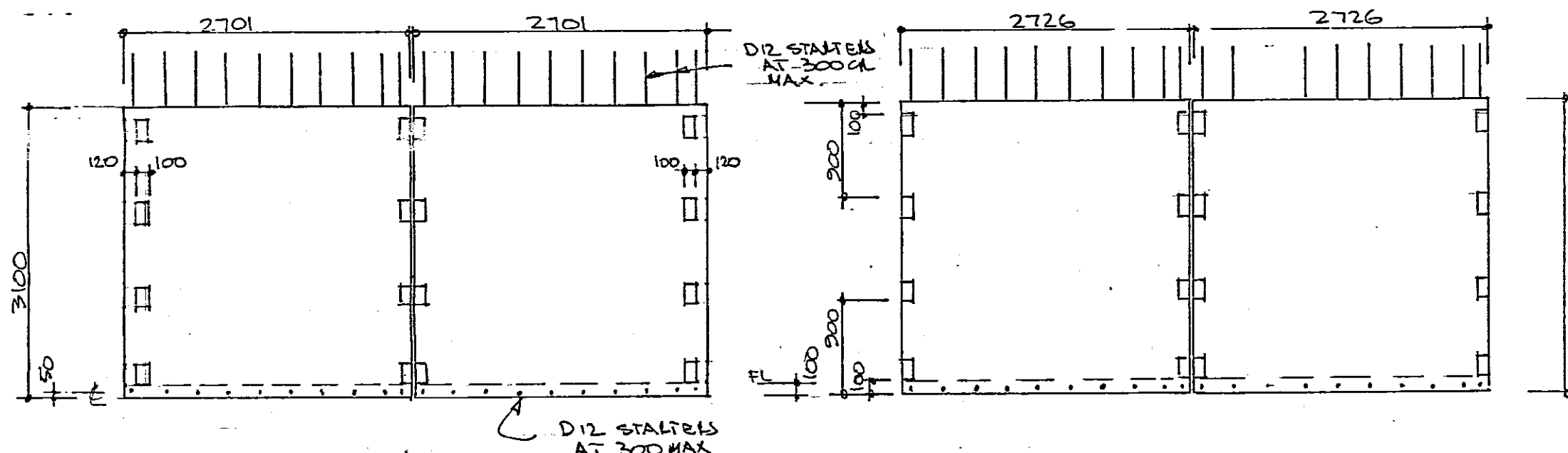
NORTH ELEVATION 1:100



EAST ELEVATION 1:100

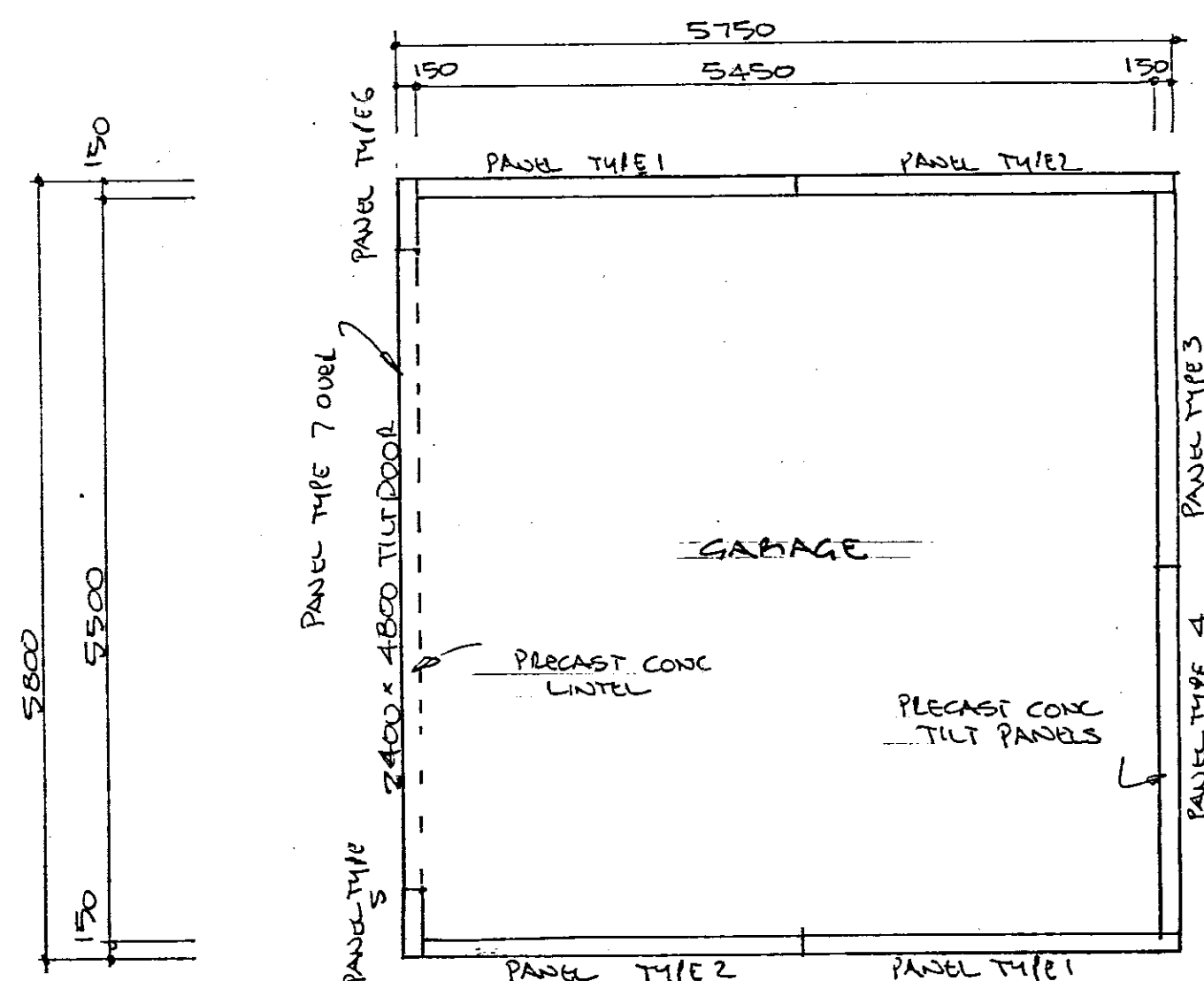
DAYLIGHT ANGLES
FROM STREET
BOUNDARY 45°
AT POINT B
SEE SHEET 1

SOUTH ELEVATION 1:100

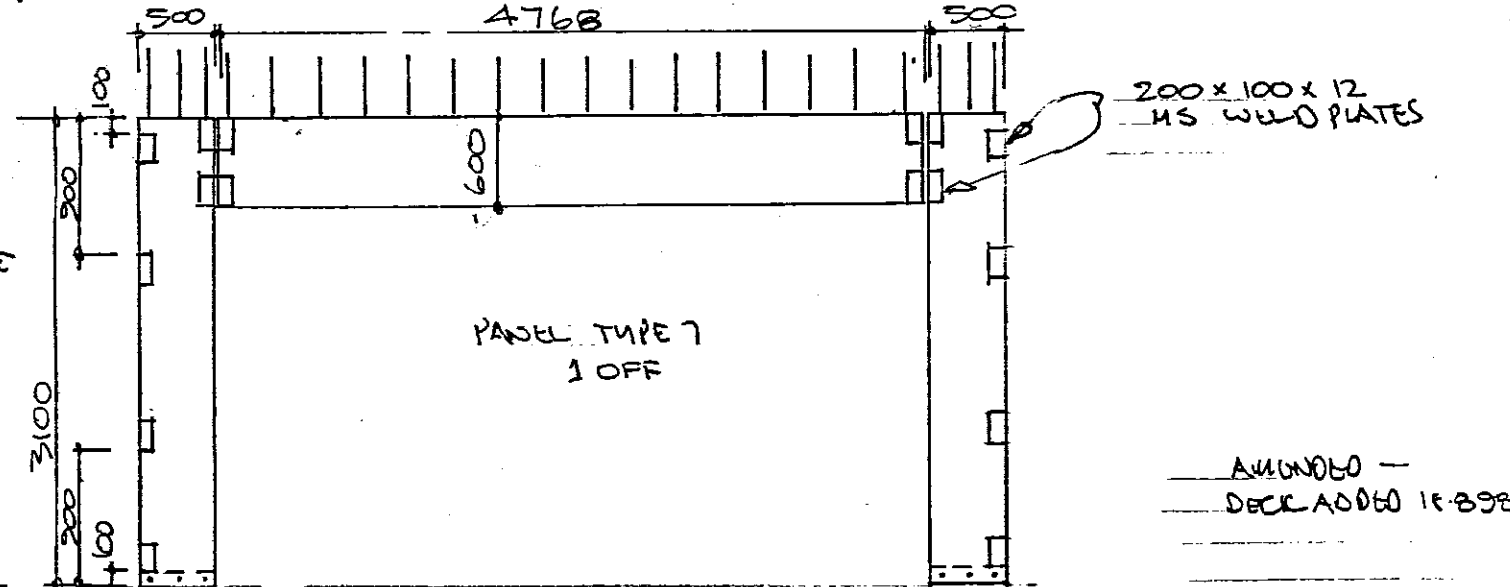


PANEL TYPE 1 2 OFF PANEL TYPE 2 2 OFF PANEL TYPE 3 1 OFF PANEL TYPE 4 1 OFF

NOTE SEE ENGINEERS
DETAILS FOR MANUFACTURE
& ERECTION OF PRECAST
CONCRETE WALL PANELS



BASEMENT FLOOR PLAN 1:50



PANEL ELEVATIONS 1:50
NOTE PANELS VIEWED
FROM INTERIOR OF BUILDING
PANEL TYPE 5 1 OFF



Allan Walters - draughtsman
NZCD (arch), DANZ (reg), ANZIOS
Phone (03) 541 8156 Wakefield

3 BEDROOM RESIDENCE
AT 207 ANNESBROOK DRIVE NELSON
FOR E & S LUSCOMBE

AS SHOWN

ELEVATIONS
BASEMENT PLAN

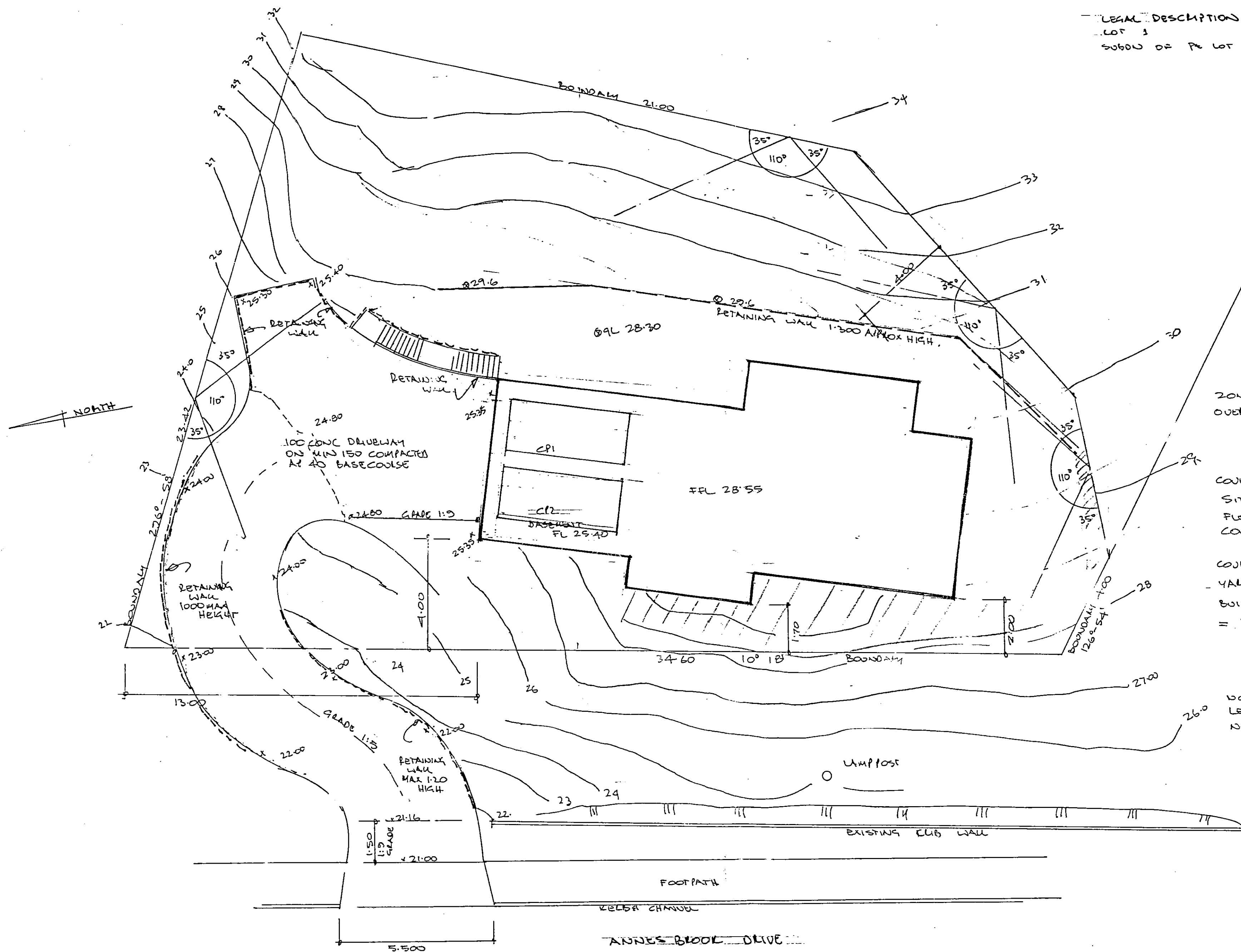
WALTERS

2008.08

4

1335

LEGAL DESCRIPTION
LOT 1
SUBDIV OF PT LOT 5 DP 5476



ZONE - RESIDENTIAL
OVERLAYS - LAND MANAGEMENT

COVERAGE
SITE AREA 602m²
FLOOR AREA 119m²
COVERAGE = 19.7%

COVERAGE OF 4.00 FRONT YARD
YARD AREA 140m²
BUILDING AREA IN YARD 23.44m²
= 16.7%

NOTE
LEVELS ARE RELATIVE TO
NELSON CITY DATUM.

18 AUG 1998



Allan Walters - draughtsman
NZCD (arch), DANZ (reg), ANZIOS
Phone (03) 541 8156 Wakefield

3 BEDROOM RESIDENCE
AT 205 ANNESBROOK DRIVE - NELSON
FOR EAS LUSCOMBE

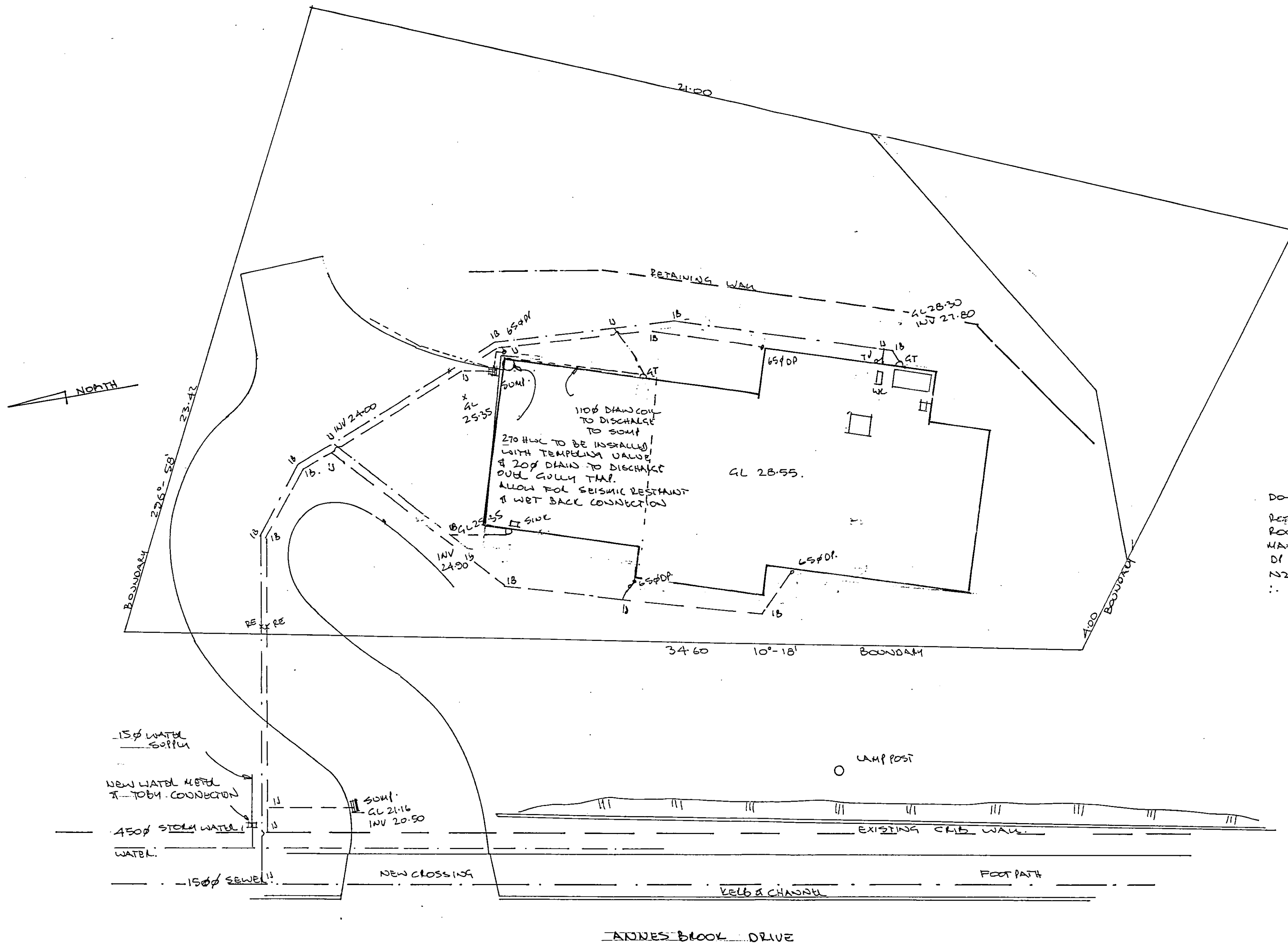
SCALE
1:100

SITE PLAN

1

WALTERS JUNE 80

1335



DOWN PIPE CALCULATION
 REF AREA 150m²
 ROOF PITCH 20°
 MAX ROOF AREA PER 650
 DI TO COMPLY WITH
 NZBC 21/AS1 = 60m²
 ∴ DIS REQUIRED = 3.

18 AUG 1998



Allan Walters - draughtsman
 NZCD (arch), DANZ (reg), ANZIOS
 Phone (03) 541 8156 Wakefield

3 BEDROOM RESIDENCE
 AT 209 ANNESBROOK DRIVE - NELSON
 FOR E.S. LUSCOMBE

SCALE

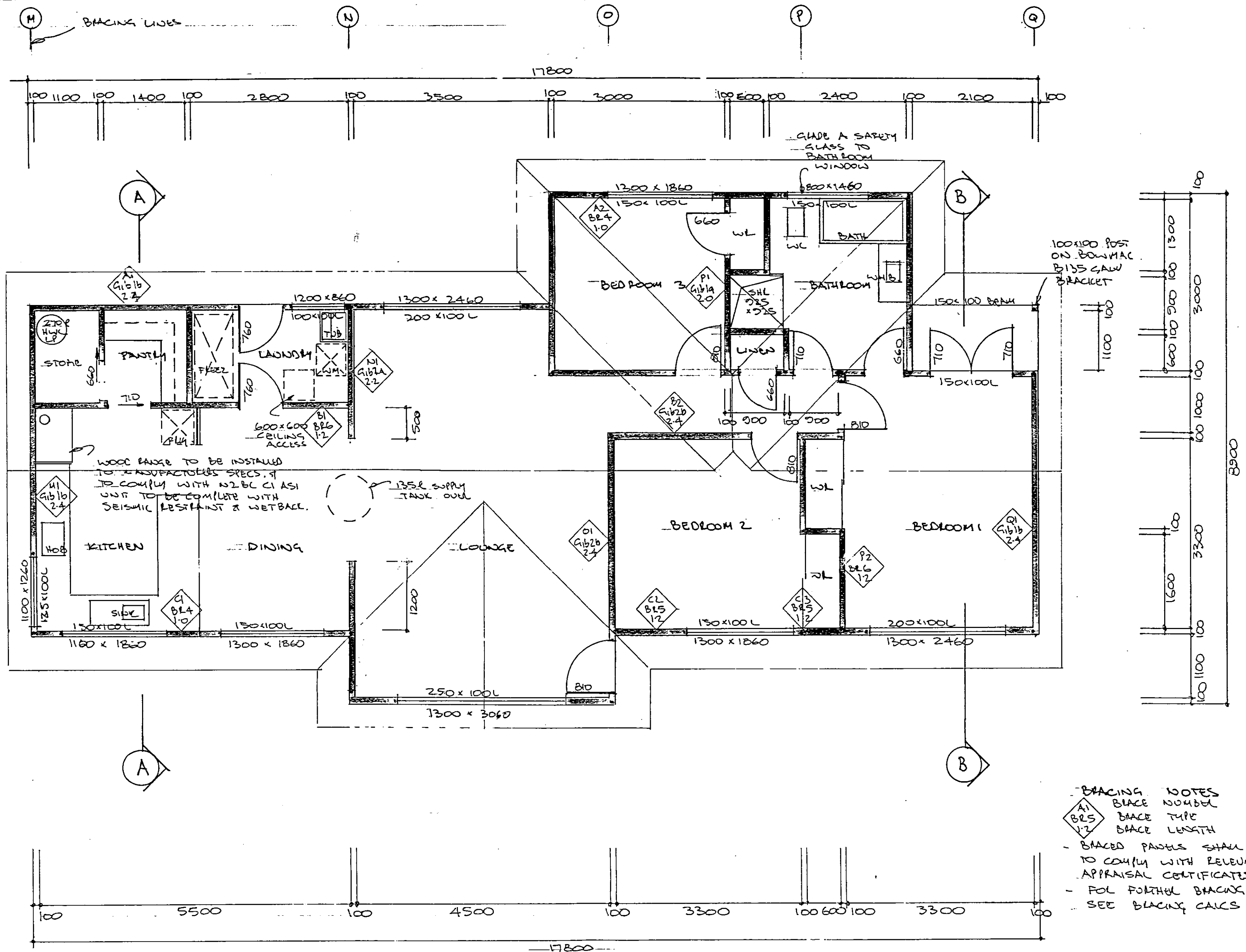
1:100

DRAINAGE PLAN

2

WALTERS JUNE 98

1335



Allan Walters - draughtsman

NZCD (arch), DANZ (reg), ANZIQS

Phone (03) 541 8156 Wakefield

3 BEDROOM RESIDENCE

AT 205 ANNESBROOK DRIVE NELSON

FOR E & S LUSCOMBE

1:50

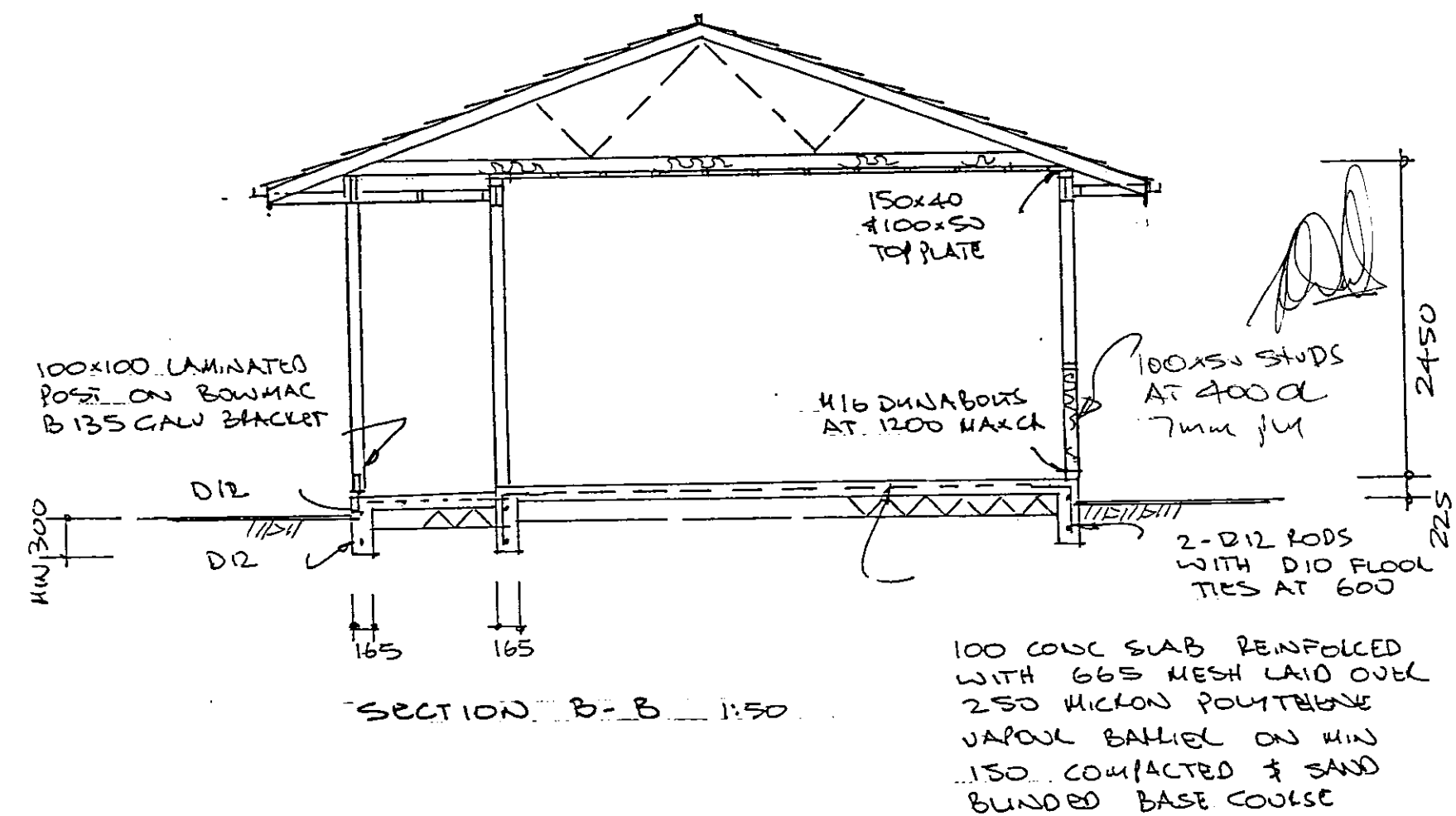
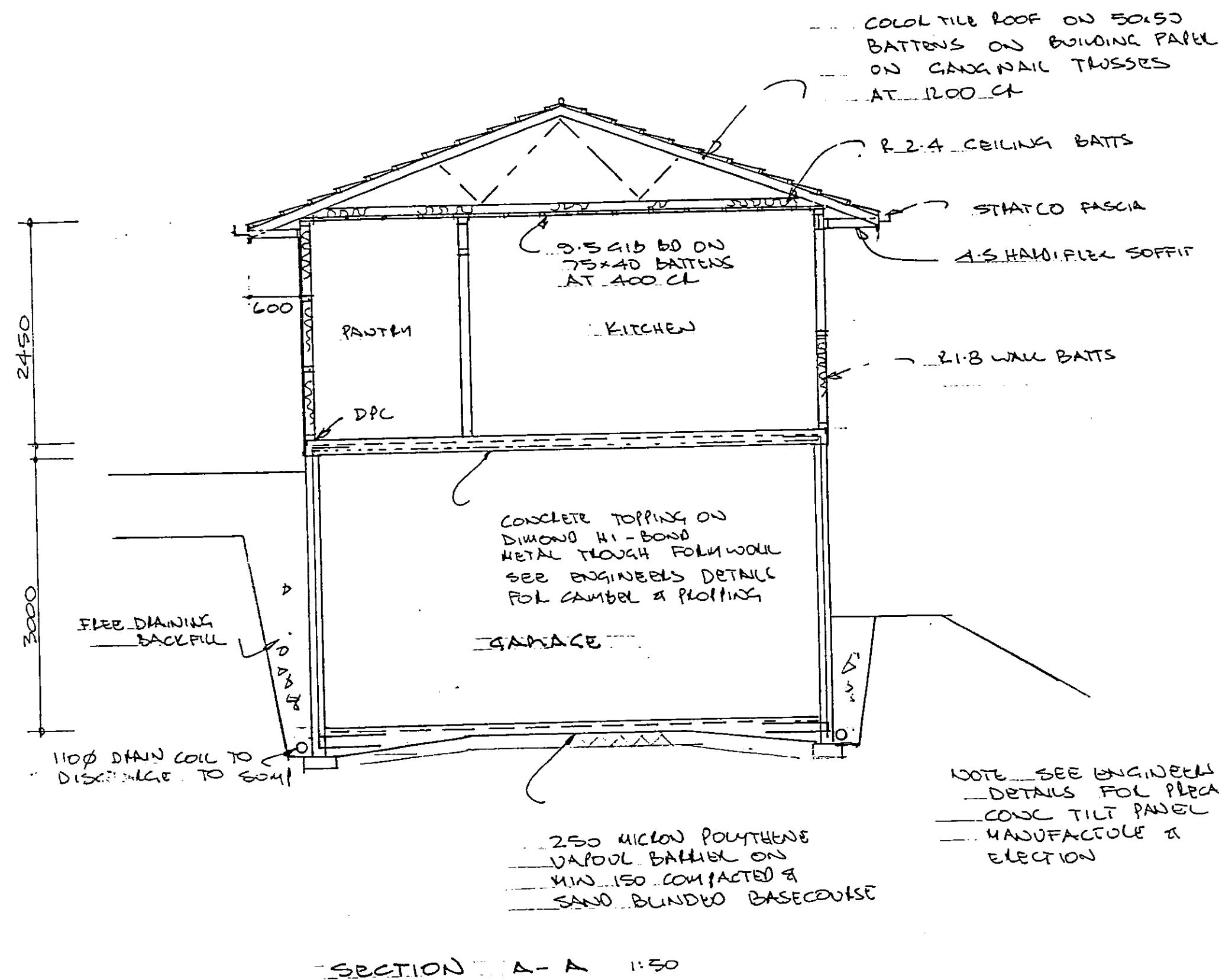
FLOOR PLAN

3

WALTERS

JUNE 98

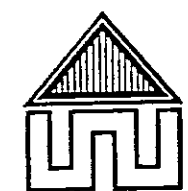
1335



NOTE SEE ENGINEER
DETAILS FOR PRECAST
CONC TILT PANEL
MANUFACTURE &
ELECTION

18 AUG 1998

Amended Awaards.
16-7-98-



Allan Walters - draughtsman

NZCD (arch), DANZ (reg), ANZIOS

Phone (03) 541 8156 Wakefield

3 BEDROOM RESIDENCE
AT 205 ANNESBROOK DRIVE - NELSON
FOR E & S LUSCOMBE

1:50

SECTIONS

5

WALTERS

JUNE 98

1335